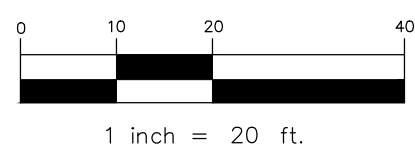


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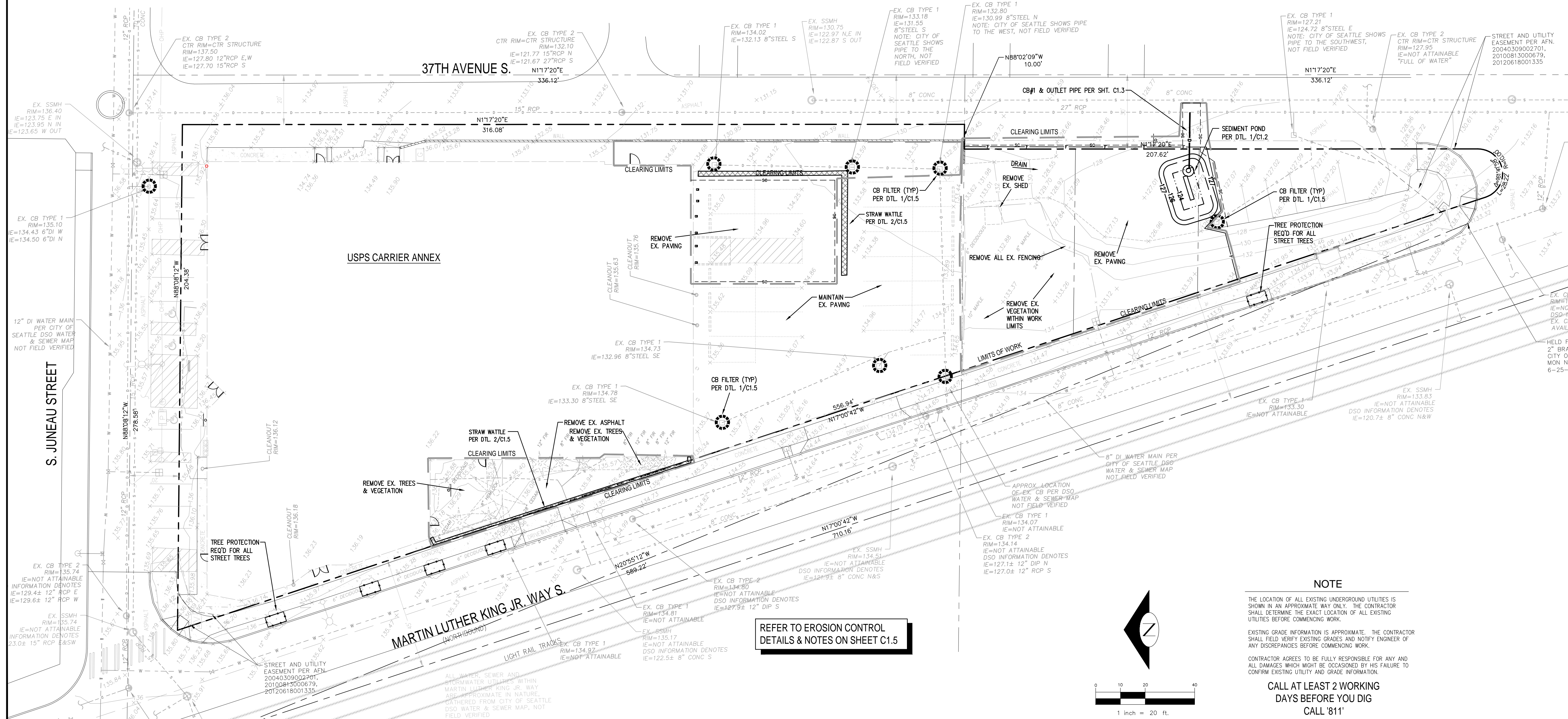
COLUMBIA CITY CARRIER ANNEX 3613 SOUTH JUNEAU STREET SEATTLE, WASHINGTON 98118

BID SET

GENERAL NOTES	ABBREVIATIONS	PROJECT INFORMATION	CONSULTANTS	INDEX OF DRAWINGS																																																																																																																																																																																																																																																																																																												
<p>A. DRAWINGS: THE DRAWINGS ARE INTENDED TO DESCRIBE THE OVERALL SCOPE OF WORK. CONTRACTORS SHALL FIELD VERIFY EXISTING CONDITIONS AND ALERT OWNER TO ANY UNFORESEEN CONSTRUCTION DIFFICULTIES BEFORE BEGINNING WORK.</p> <p>B. REPETITIVE ITEMS: TYPICAL WALL SECTIONS, FINISHES, AND DETAILS ARE NOT INDICATED EVERYWHERE THEY OCCUR ON PLANS, ELEVATIONS AND SECTIONS. REFER TO DETAIL DRAWINGS. CONTRACTOR TO PROVIDE AS IF DRAWN IN FULL.</p> <p>C. CODES / PERMITS / REGULATIONS: CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS NECESSARY. A BUILDING PERMIT IS REQUIRED. CONTRACTOR SHALL ALSO PAY FOR ALL OTHER CHARGES, FEES OR COSTS CHARGED BY UTILITY AGENCIES OR PRIVATE COMPANIES WHICH REQUIRE SUCH COSTS FOR OR PRIOR TO INSTALLATIONS. INCLUDE PERMIT FEES IN THE BID.</p> <p>NOTHING IN THE DRAWINGS SHALL BE CONSTRUED TO PERMIT AN INSTALLATION IN VIOLATION OF APPLICABLE CODES AND/OR RESTRICTIONS. SHOULD ANY CHANGE IN THE DRAWINGS BE NECESSARY IN ORDER TO COMPLY WITH APPLICABLE CODES AND/OR REQUIREMENTS, THE CONTRACTOR SHALL NOTIFY THE OWNER AT ONCE. ALL PARTS PERFORMED UNDER THIS CONTRACT SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES, REGULATIONS, RESTRICTIONS, REQUIREMENTS AND CODES.</p> <p>ALL WORK SHALL CONFORM TO THE 2009 IBC & MECHANICAL CODES. AND ALL LOCAL JURISDICTION RULES AND REGULATIONS.</p> <p>D. DIMENSIONS: DIMENSIONS ARE SHOWN TO FACE OF STUD UNLESS DETAILED OTHERWISE ON DRAWINGS.</p> <p>E. EXISTING ITEMS: ON ELEVATIONS, PLANS & DETAIL DRAWINGS ANY ITEM NOT CALLED OUT AS "EXISTING" OR INDICATED AS "(E)" SHALL BE ASSUMED TO BE NEW.</p> <p>F. OCCUPANT & PEDESTRIAN PROTECTIONS: BUILDING WILL BE OCCUPIED DURING THE WORK. CONTRACTOR SHALL MAINTAIN OVERHEAD PROTECTION WHERE AN OVERHEAD HAZARD EXISTS.</p> <p>G. INTERIOR PROTECTIONS, DUST CONTROL & HOUSEKEEPING: PRIOR TO COMMENCING, CONTRACTOR SHALL PROTECT INTERIOR SPACES AGAINST DUST, DEBRIS & OVERHEAD FALLING HAZARD BY INSTALLATION OF PLYWOOD BARRIERS & POLY SHEETING OR OTHER METHODS THAT PERMIT OCCUPANTS TO MAINTAIN NORMAL ACTIVITIES AS MUCH AS POSSIBLE DURING THE WORK.</p> <p>H. ODOR CONTROL: CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO MINIMIZE IMPACT OF ODOR-CAUSING OPERATIONS ON BUILDING OCCUPANTS. CONTRACTOR SHALL NOTE LOCATION OF BUILDING AIR INTAKES & BE PRO-ACTIVE IN ARRANGING FOR SHUT-DOWN, FILTERING, OFF-HOUR WORK OR OTHER MEANS OF CONTROL. SCHEDULE ALL ACTIVITIES WITH OWNER.</p> <p>I. NOISE CONTROL: CONTRACTOR SHALL SCHEDULE ANY EXCESSIVE NOISE PRODUCING ACTIVITIES (SUCH AS CORE DRILLING AND CONCRETE CUTTING) FOR EARLY MORNING, EVENING OR WEEKEND HOURS.</p> <p>J. BUILDING ACCESS & WORK HOURS: CONTRACTOR ACCESS TO BUILDING FOR WORK SHALL OCCUR DURING NORMAL DAYTIME WORK HOURS.</p>	<table><tr><td>ACP</td><td>ACOUSTICAL CLG. PANEL ABOVE FINISHED FLOOR ARCHITECTURAL</td><td>LOC</td><td>LOCATION</td></tr><tr><td>AFF</td><td></td><td>MAX</td><td>MAXIMUM</td></tr><tr><td>ARCH</td><td></td><td>MTL</td><td>METAL</td></tr><tr><td></td><td></td><td>MIN</td><td>MINIMUM</td></tr><tr><td>BLKG</td><td>BLOCKING</td><td>MJ</td><td>MASONRY JOINT</td></tr><tr><td>BR</td><td>BICYCLE RACK</td><td></td><td></td></tr><tr><td></td><td></td><td>NIC</td><td>NOT IN THIS CONTRACT</td></tr><tr><td>C'FLSHG</td><td>COUNTERFLASHING</td><td>NO.</td><td>NUMBER</td></tr><tr><td>CJ</td><td>CONTROL JOINT</td><td>NTS</td><td>NOT TO SCALE</td></tr><tr><td>CL</td><td>CENTER LINE</td><td></td><td></td></tr><tr><td>CLG</td><td>CEILING</td><td>O.C.</td><td>ON CENTER</td></tr><tr><td>CMU</td><td>CONCRETE BLOCK</td><td>OD</td><td>OUTSIDE DIMENSION</td></tr><tr><td>CONC</td><td>CONCRETE</td><td>OH</td><td>OPPOSITE HAND</td></tr><tr><td>CONST</td><td>CONSTRUCTION</td><td></td><td></td></tr><tr><td>CONT</td><td>CONTINUOUS</td><td></td><td></td></tr><tr><td></td><td></td><td>PC</td><td>POWDER COAT</td></tr><tr><td>DB</td><td>DOCK BUMPERS</td><td>PERF.</td><td>PERFORATED</td></tr><tr><td>DIA</td><td>DIAMETER</td><td>PLYWD</td><td>PLYWOOD</td></tr><tr><td>DIM</td><td>DIMENSION</td><td>PREF.</td><td>PREFINISHED</td></tr><tr><td>DN</td><td>DOWN</td><td>PT</td><td>PAINT</td></tr><tr><td>DO</td><td>DOOR OPENING</td><td>P.T.</td><td>PRESSURE TREATED</td></tr><tr><td>DTL</td><td>DETAIL</td><td></td><td></td></tr><tr><td>DR</td><td>DOOR</td><td>R</td><td>RISER, RADIUS</td></tr><tr><td>DS</td><td>DOWNSPOUT</td><td>RM, RMS</td><td>ROOM, ROOMS</td></tr><tr><td>DWG</td><td>DRAWING</td><td>RO</td><td>ROUGH OPENING</td></tr><tr><td></td><td></td><td>S.A.F.</td><td>SELF-ADHESIVE FLASHING</td></tr><tr><td>EA</td><td>EACH</td><td>S.A.M.</td><td>SELF-ADHESIVE MEMBRANE</td></tr><tr><td>ELEV</td><td>ELEVATION</td><td>SEAL</td><td>SEALED CONCRETE</td></tr><tr><td>EJ</td><td>EXPANSION JOINT</td><td>SG</td><td>SQUARE FEET</td></tr><tr><td>(E), E.</td><td>EXIST, EXISTING</td><td>SHT</td><td>SAFETY GLAZING</td></tr><tr><td>EXT</td><td>EXTERIOR</td><td>SIM</td><td>SHEET</td></tr><tr><td></td><td></td><td>SIM</td><td>SIMILAR</td></tr><tr><td>FAC</td><td>FACTORY FINISH</td><td>SPEC, SPECS</td><td>SPECIFICATIONS</td></tr><tr><td>FAP</td><td>FIRE ALARM PANEL</td><td>SS</td><td>STAINLESS STEEL</td></tr><tr><td>FIN FL</td><td>FINISH FLOOR</td><td>ST</td><td>STEEL</td></tr><tr><td>FLSHG</td><td>FLASHING</td><td>STOR</td><td>STORAGE</td></tr><tr><td>FT</td><td>FOOT</td><td>STRUCT</td><td>STRUCTURAL</td></tr><tr><td></td><td></td><td>SUSP</td><td>SUSPENDED</td></tr><tr><td>GA</td><td>GAUGE</td><td></td><td></td></tr><tr><td>GALV</td><td>GALVANIZED</td><td>TJ</td><td>TOOLED JOINT</td></tr><tr><td>GB</td><td>GRAB BAR</td><td>TYP</td><td>TYPICAL</td></tr><tr><td>GL</td><td>GLASS</td><td></td><td></td></tr><tr><td>GLB</td><td>GLU-LAM BEAM</td><td>WC</td><td>WATER CLOSET</td></tr><tr><td>GWB</td><td>GYP-SUM WALLBOARD</td><td>WD</td><td>WOOD</td></tr><tr><td></td><td></td><td>WP</td><td>WEATHERPROOFING</td></tr><tr><td>HM</td><td>HOLLOW METAL</td><td>WRB</td><td>WEATHER RESISTIVE BARRIER</td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td>HT</td><td>HEIGHT</td><td></td><td></td></tr><tr><td>INSUL</td><td>INSULATION</td><td></td><td></td></tr><tr><td>INT</td><td>INTERIOR</td><td></td><td></td></tr></table>	ACP	ACOUSTICAL CLG. 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HEIGHT = 20'-0" (EXISTING)</p> <p>FULLY SPRINKLERED FIRE ALARM</p>	<p>ARCHITECT</p> <p>CORNERSTONE ARCHITECTURAL GROUP 6161 NE 175TH STREET, SUITE 101 KENMORE, WA 98028 TEL: (206) 682-5000 STEVE BARNES</p> <p>LANDSCAPE ARCHITECT</p> <p>TERRAFORMA DESIGN GROUP 5027 51ST AVENUE SW SEATTLE, WA 98136 (206) 923-0590 AKEMI SAKAIDA</p> <p>STRUCTURAL</p> <p>PSM CONSULTING ENGINEERS 2200 6TH AVENUE, SUITE 601 SEATTLE, WA 98121 TEL: (206) 622-4580 DAVID STUBBS</p> <p>MECHANICAL</p> <p>HULTZ BHU 1111 FAWCETT AVENUE, SUITE 100 TACOMA, WA 98402 TEL: (253) 383-3283 RICK HULTZ</p> <p>ELECTRICAL</p> <p>HULTZ BHU 1111 FAWCETT AVENUE, SUITE 100 TACOMA, WA 98402 TEL: (253) 383-3283 TOM URQUHART</p> <p>CIVIL</p> <p>TERRAFORMA DESIGN GROUP, INC 5027 51ST AVENUE SW SEATTLE, WA 98136 (206)923-0590 PEDRO DEGUZMAN</p>	<table><tr><td>T1.1</td><td>TITLE SHEET</td></tr><tr><td>C1.1</td><td>CIVIL SITE PLAN</td></tr><tr><td>C1.2</td><td>EROSION CONTROL PLAN</td></tr><tr><td>C1.3</td><td>GRADING & DRAINAGE PLAN</td></tr><tr><td>C1.4</td><td>UTILITY PLAN</td></tr><tr><td>C1.5</td><td>CIVIL DETAILS</td></tr><tr><td>C1.6</td><td>CIVIL DETAILS</td></tr><tr><td>C1.7</td><td>CIVIL DETAILS</td></tr><tr><td>C1.8</td><td>CIVIL DETAILS</td></tr><tr><td>L1.1</td><td>LANDSCAPE PLAN</td></tr><tr><td>SV1</td><td>SURVEY</td></tr><tr><td>A1.1</td><td>SITE PLAN</td></tr><tr><td>A1.2</td><td>SITE DETAILS</td></tr><tr><td>A1.3</td><td>SITE DETAILS</td></tr><tr><td>AD1</td><td>DEMOLITION SITE PLAN</td></tr><tr><td>AD2</td><td>DEMOLITION FLOOR PLAN</td></tr><tr><td>A2.1</td><td>FIRST FLOOR PLAN</td></tr><tr><td>A2.2</td><td>LARGE SCALE PLANS AND DETAILS</td></tr><tr><td>A2.3</td><td>LARGE SCALE PLAN DETAILS</td></tr><tr><td>A2.4</td><td>OSL FLOOR PLAN</td></tr><tr><td>A3.1</td><td>EXTERIOR ELEVATIONS</td></tr><tr><td>A4.1</td><td>BUILDING SECTIONS</td></tr><tr><td>A5.1</td><td>WALL SECTIONS</td></tr><tr><td>A6.1</td><td>DOOR & ROOM FINISH SCHEDULES AND DETAILS</td></tr><tr><td>A6.2</td><td>DOOR & MISCELLANEOUS DETAILS</td></tr><tr><td>A7.1</td><td>INTERIOR ELEVATIONS</td></tr><tr><td>A7.2</td><td>INTERIOR DETAILS</td></tr><tr><td>A8.1</td><td>ROOF PLAN - NOTES</td></tr><tr><td>A8.2</td><td>ROOF DETAILS</td></tr><tr><td>A9.1</td><td>CEILING PLAN - DETAILS</td></tr><tr><td>A10.1</td><td>PARTITION DETAILS</td></tr><tr><td>A10.2</td><td>DETAILS</td></tr><tr><td>S3.1</td><td>PARTIAL ROOF FRAMING PLAN</td></tr><tr><td>M1.0</td><td>MECHANICAL LEGEND & NOTES</td></tr><tr><td>M1.1</td><td>MECHANICAL SCHEDULES</td></tr><tr><td>M2.0</td><td>FIRST FLOOR DEMO PLAN - MECHANICAL</td></tr><tr><td>M2.1</td><td>ROOF DEMO PLAN - MECHANICAL</td></tr><tr><td>M3.0</td><td>FIRST FLOOR PLAN - PLUMBING</td></tr><tr><td>M4.0</td><td>FIRST FLOOR PLAN - HVAC</td></tr><tr><td>M4.1</td><td>ROOF PLAN - HVAC</td></tr><tr><td>E0.1</td><td>ELECTRICAL LEGEND, ABBREVIATIONS & GENERAL NOTES</td></tr><tr><td>E0.2</td><td>ELECTRICAL SCHEDULES</td></tr><tr><td>E0.3</td><td>ELECTRICAL SCHEDULES</td></tr><tr><td>E1.0</td><td>ELECTRICAL SITE PLAN</td></tr><tr><td>ED1.1</td><td>ELECTRICAL DEMOLITION PLAN</td></tr><tr><td>E2.0</td><td>ELECTRICAL LIGHTING PLAN</td></tr><tr><td>E3.0</td><td>ELECTRICAL POWER PLAN</td></tr><tr><td>E4.0</td><td>ELECTRICAL SYSTEMS PLAN</td></tr><tr><td>E5.0</td><td>ELECTRICAL ONE-LINE DIAGRAM</td></tr><tr><td>E6.0</td><td>ELECTRICAL DETAILS</td></tr></table>	T1.1	TITLE SHEET	C1.1	CIVIL SITE PLAN	C1.2	EROSION CONTROL PLAN	C1.3	GRADING & DRAINAGE PLAN	C1.4	UTILITY PLAN	C1.5	CIVIL DETAILS	C1.6	CIVIL DETAILS	C1.7	CIVIL DETAILS	C1.8	CIVIL DETAILS	L1.1	LANDSCAPE PLAN	SV1	SURVEY	A1.1	SITE PLAN	A1.2	SITE DETAILS	A1.3	SITE DETAILS	AD1	DEMOLITION SITE PLAN	AD2	DEMOLITION FLOOR PLAN	A2.1	FIRST FLOOR PLAN	A2.2	LARGE SCALE PLANS AND DETAILS	A2.3	LARGE SCALE PLAN DETAILS	A2.4	OSL FLOOR PLAN	A3.1	EXTERIOR ELEVATIONS	A4.1	BUILDING SECTIONS	A5.1	WALL SECTIONS	A6.1	DOOR & ROOM FINISH SCHEDULES AND DETAILS	A6.2	DOOR & MISCELLANEOUS DETAILS	A7.1	INTERIOR ELEVATIONS	A7.2	INTERIOR DETAILS	A8.1	ROOF PLAN - NOTES	A8.2	ROOF DETAILS	A9.1	CEILING PLAN - DETAILS	A10.1	PARTITION DETAILS	A10.2	DETAILS	S3.1	PARTIAL ROOF FRAMING PLAN	M1.0	MECHANICAL LEGEND & NOTES	M1.1	MECHANICAL SCHEDULES	M2.0	FIRST FLOOR DEMO PLAN - MECHANICAL	M2.1	ROOF DEMO PLAN - MECHANICAL	M3.0	FIRST FLOOR PLAN - PLUMBING	M4.0	FIRST FLOOR PLAN - HVAC	M4.1	ROOF PLAN - HVAC	E0.1	ELECTRICAL LEGEND, ABBREVIATIONS & GENERAL NOTES	E0.2	ELECTRICAL SCHEDULES	E0.3	ELECTRICAL SCHEDULES	E1.0	ELECTRICAL SITE PLAN	ED1.1	ELECTRICAL DEMOLITION PLAN	E2.0	ELECTRICAL LIGHTING PLAN	E3.0	ELECTRICAL POWER PLAN	E4.0	ELECTRICAL SYSTEMS PLAN	E5.0	ELECTRICAL ONE-LINE DIAGRAM	E6.0	ELECTRICAL DETAILS
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EXISTING	PROPOSED		
		PROPERTY LINE	
		R.O.W. CENTERLINE	
		EASEMENT	
		GRADING CONTOUR	
		SPOT ELEVATION	
		WATER MAIN	
		SEWER MAIN	
		STORM DRAIN	
		FIRE HYDRANT	
		WATER METER	
		GATE VALVE	
		SEWER MANHOLE	
		STORM CB	
		STORM MANHOLE	
		ELECTRICAL LINE	
		TELEPHONE LINE	
		GAS LINE	
		POWER VAULT	
		UTILITY POLE	
		STREET LIGHT	
			FILTER FENCE
			STRAW WATTLE
			CB INLET PROTECTION
			CLEARING LIMITS



C1.2
EROSION CONTROL PLAN


Scale: 1" = 20'
Date: 1/4/2021

Project: COLUMBIA STATION AQ C&X

USPS File Number: Q59098

Revisions:

Scale: 1" = 20'	Date: 1/4/2021
Project: COLUMBIA STATION AQ CAX	
USPS File Number: Q59098	



**UNITED STATES
POSTAL SERVICE®**

COLUMBIA CARRIER ANNEX
3613 SOUTH JUNEAU STREET
SEATTLE, WA 98118

 **Cornerstone**
ARCHITECTURAL GROUP

6161 NE 175th Street, Suite 101
Kenmore, Washington 98028

Phone: 206.682.5000
cornerstonearch.com

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LEGEND

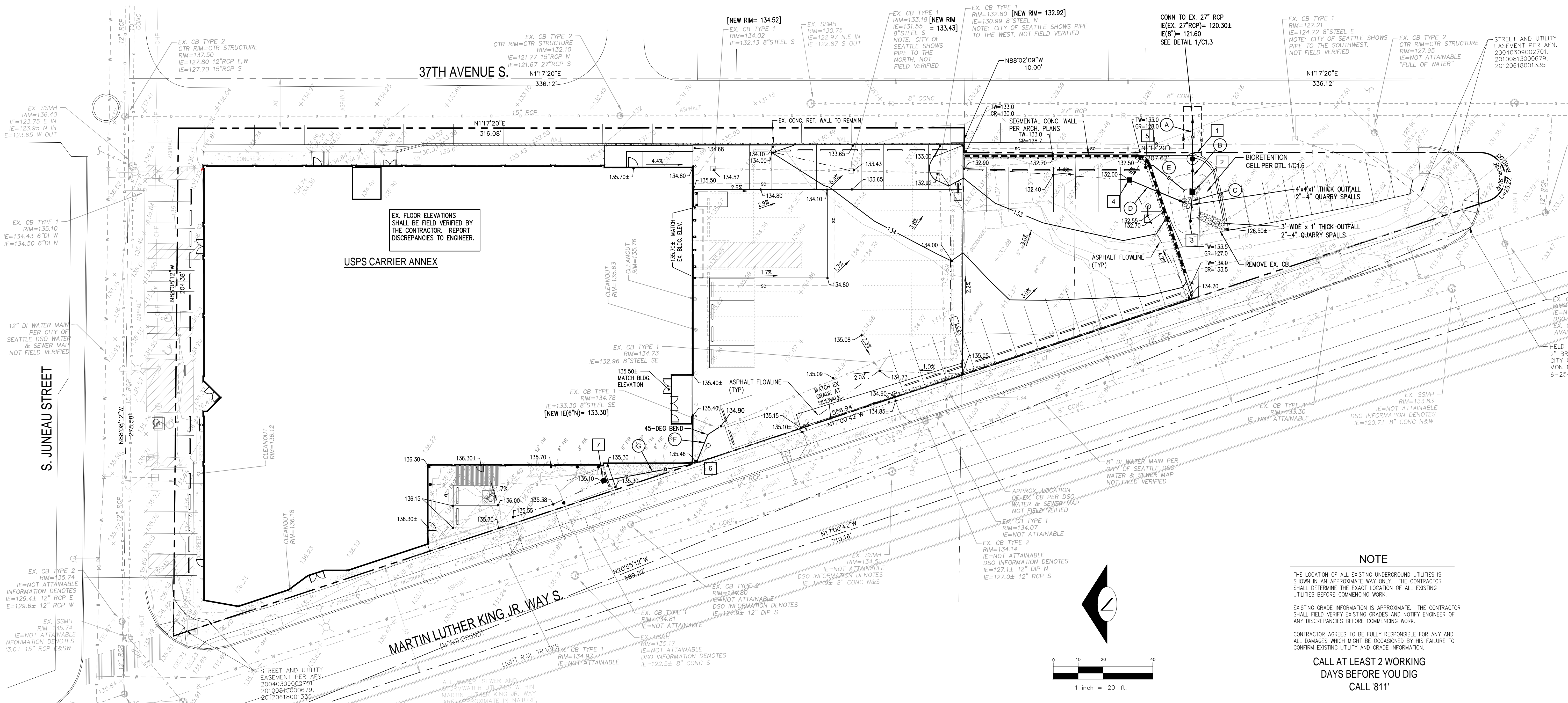
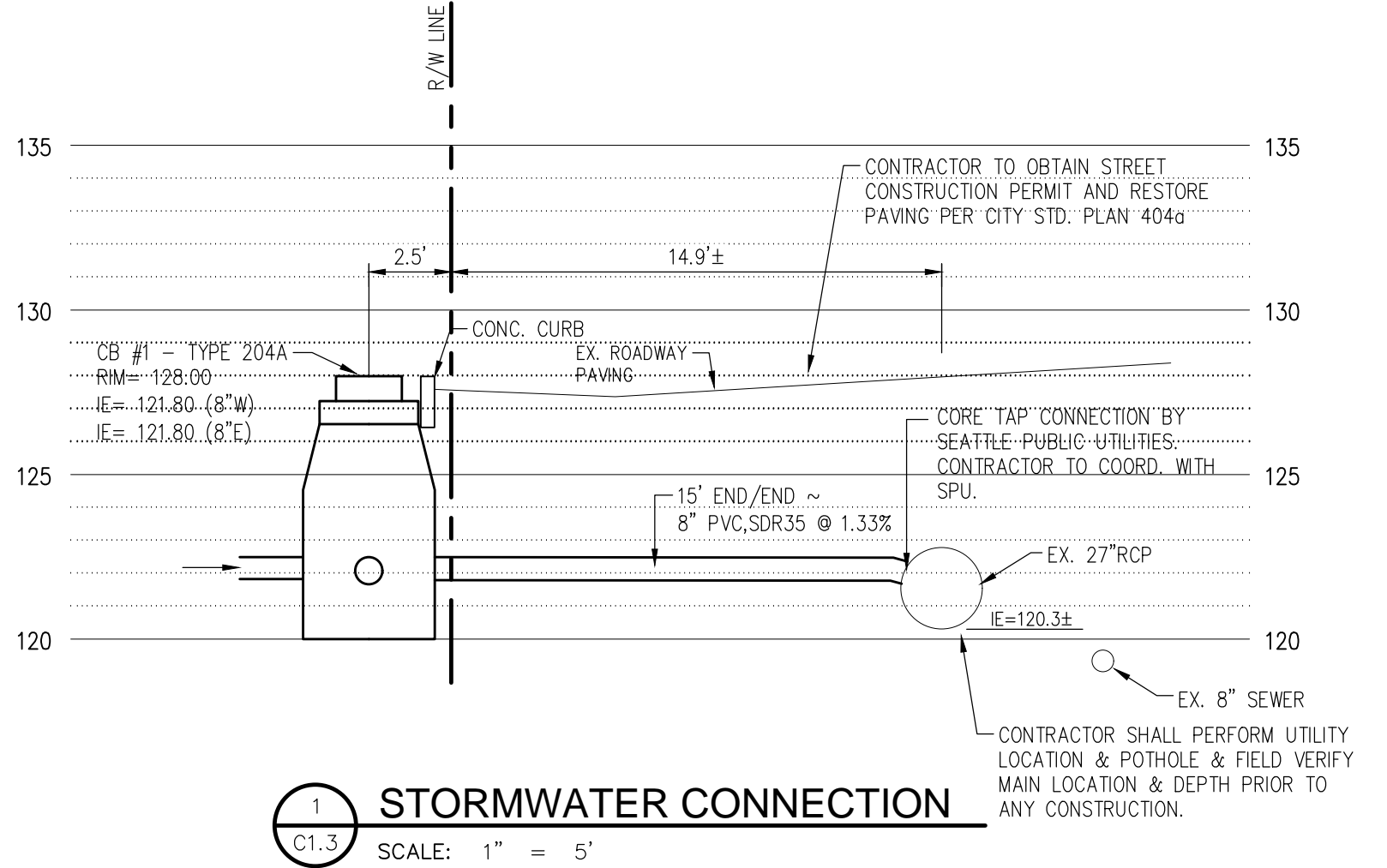
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---	---	EASEMENT
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---	---	STORM CB
---	---	STORM MANHOLE
---	---	ELECTRICAL LINE
---	---	TELEPHONE LINE
---	---	GAS LINE
---	---	POWER VAULT
---	---	UTILITY POLE
---	---	STREET LIGHT
---	---	PARKING LIGHT

STORM STRUCTURE / CLEANOUT SCHEDULE				
CB/CO	TYPE	RIM	IE	
1	SDMH, TY. 204A	128.00	121.80 (8"W)	
			121.80 (8"E)	
2	CB, TY. 241a	126.25	122.17 (6"W)	
	BIORETENTION CB		122.00 (8"E)	
3	CLEANOUT	126.25	122.29 (6")	
4	CB, TY. 241a	132.00	129.20 (8"SW)	
5	CLEANOUT	132.50	126.00 (6"SW)	
6	CLEANOUT	135.46	133.47 (6")	
7	CB, TY. 241a	135.10	133.85 (6")	

CATCH BASINS PER CITY STD. PLAN 241
CB'S TO HAVE OUTLET TRAP PER CITY STD. PLAN 267
GRATES PER CITY STD. PLAN 264 (USE VANED GRATE)
MANHOLES PER SEATTLE STD. PLAN 204A
MANHOLE LID PER CITY STD. PLAN 230
CLEANOUTS PER DTL. 2/C1.6
BEEHIVE GRATE PER CITY STD. PLAN 269

STORM PIPE SCHEDULE				
PIPE	DIA / TYPE	LENGTH (FT)	SLOPE	
A	8" PVC, SCH40	15 (END/END)	1.33%	
B	8" PVC, SCH40	13	1.54%	
C	6" PVC, SCH40	12	1.00%	
D	8" PVC, SCH40	24	1% MIN.	
E	6" PVC, SCH40	20	3.00%	
F	6" DI, CL50	17	1.00%	
G	6" DI, CL50	38	1.00%	

PIPE LENGTHS DIST. TO CTR. OF STRUCTURE, U.N.O.
SLOTTED PIPE PER CITY STD. PLAN 291
PIPE BEDDING PER CITY STD. PLAN 285



NOTE

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.

EXISTING GRADE INFORMATION IS APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES AND NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE COMMENCING WORK.

CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO CONFIRM EXISTING UTILITY AND GRADE INFORMATION.

CALL AT LEAST 2 WORKING DAYS BEFORE YOU DIG
CALL '811'

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phone: 206.923.0990 website: www.terraformdesigngroup.com

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UNITED STATES
POSTAL SERVICE

C1.3 GRADING & DRAINAGE PLAN
Scale: 1" = 20' Date: 1/4/2021
Project: COLUMBIA STATION AQ CAX
USPS File Number: Q359038

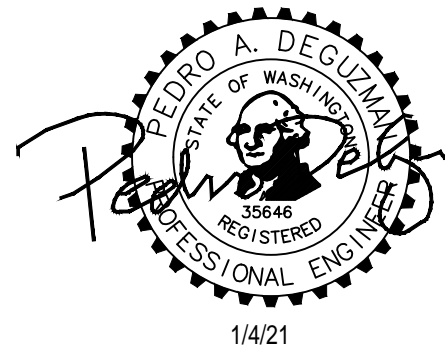
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SW1/4 OF SEC. 22, T24N, R4E, W.M., CITY OF SEATTLE, KING COUNTY, WA

EXISTING	PROPOSED	
		PROPERTY LINE
		R.O.W. CENTERLINE
		EASEMENT
		GRADING CONTOUR
		WATER MAIN
		SEWER MAIN
		STORM DRAIN
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		POWER VAULT
		UTILITY POLE
		STREET LIGHT
		PARKING LIGHT

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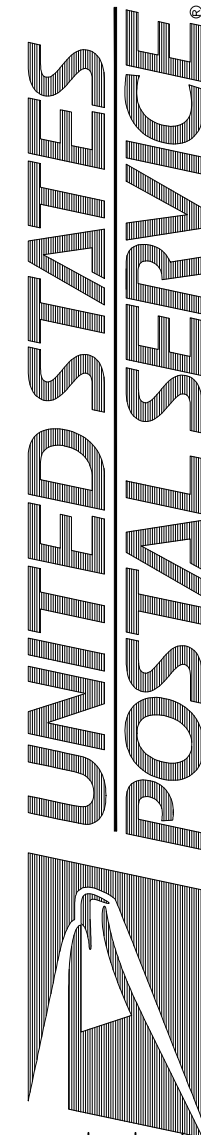
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Revisions:

Scale: 1" = 20'

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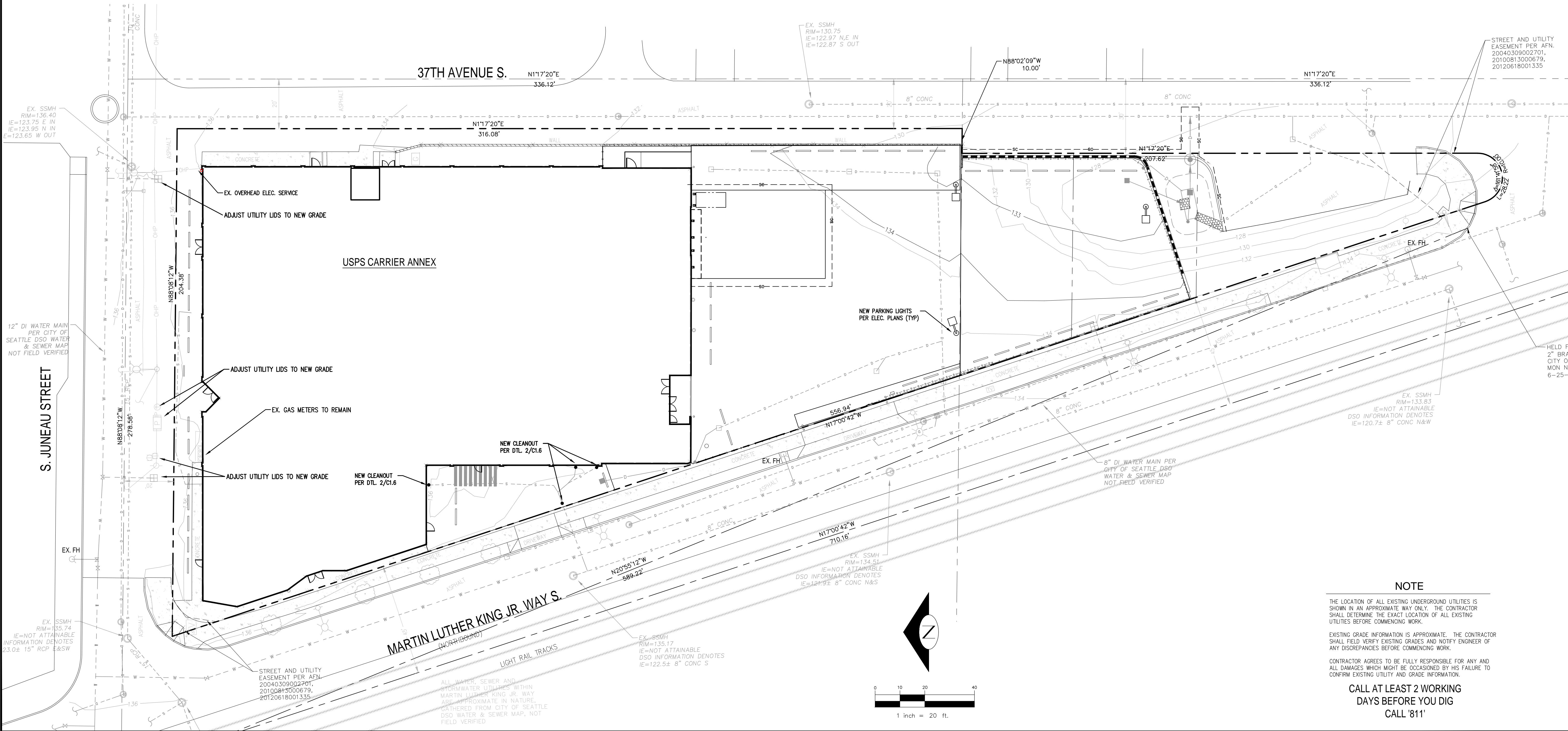
Project: COLUMBIA STATION AQ CAX

USPS File Number: Q59098

C1.4 UTILITY PLAN

SANITARY SEWER SERVICE GENERAL NOTES

- SIDE SEWERS AND DRAINAGE FACILITIES SHALL BE CONSTRUCTED PER THE "REQUIREMENTS FOR DESIGN AND CONSTRUCTION OF SIDE SEWERS (DRAINAGE AND WASTEWATER DISCHARGES)" DIRECTOR'S RULE DPD 4-2011/SPU 2011-004 AND PER THE "STORMWATER MANUAL" DIRECTOR'S RULE SDCI 17-2017/SPU DW-200.
- A SEPARATE SIDE SEWER PERMIT IS REQUIRED FOR ALL SIDE SEWERS/SERVICE DRAINS.



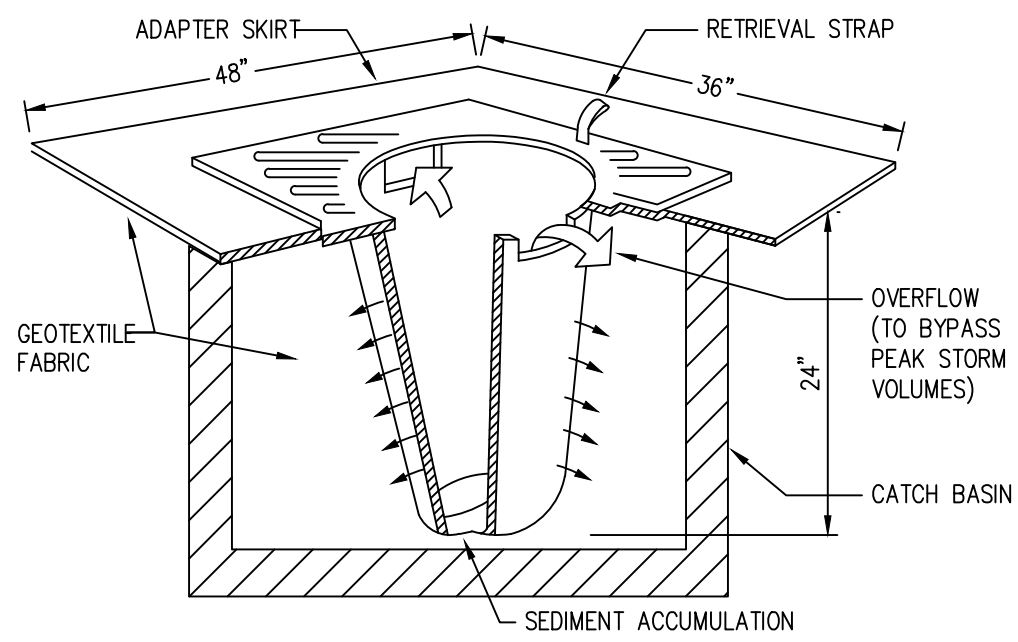
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CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO CONFIRM EXISTING UTILITY AND GRADE INFORMATION.

CALL AT LEAST 2 WORKING
DAYS BEFORE YOU DIG
CALL '811'

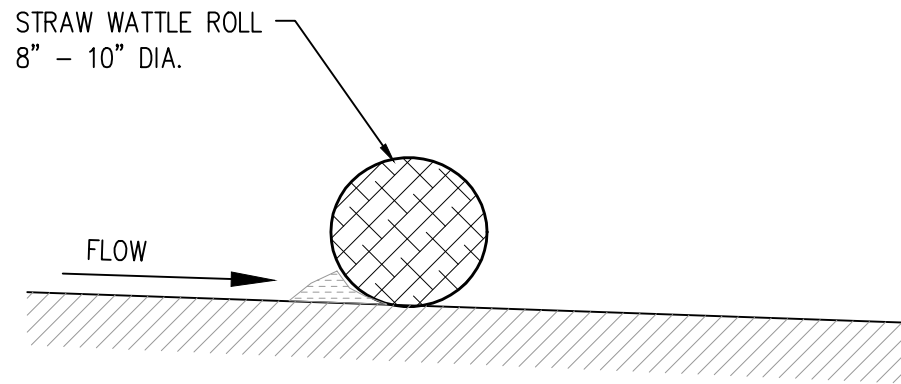


INLET PROTECTION NOTES:

1. FILTERS SHALL BE REMOVED AND CLEANED OR REPLACED AFTER EACH STORM EVENT AND ON A WEEKLY BASIS.



SCALE: N.T.S.



SCALE: N.T.S.

CONSTRUCTION STORMWATER CONTROL (CSC) GENERAL NOTES

1. A FIRST GROUND DISTURBANCE INSPECTION IS REQUIRED PRIOR TO START OF WORK ON ALL SITES WITH LAND DISTURBING ACTIVITY.
2. SCHEDULE A FIRST GROUND DISTURBANCE INSPECTION FOR AN ISSUED BUILDING PERMIT AT 206-684-8900 OR ONLINE AT WWW.SEATTLE.GOV/DPD/PERMITS/INSPECTIONS/
3. THE APPLICANT SHALL DESIGNATE AN EROSION AND SEDIMENT CONTROL (ESC) SUPERVISOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs). FOR LARGE CONSTRUCTION PROJECTS, THE ESC SUPERVISOR SHOULD BE A CERTIFIED EROSION AND SEDIMENT CONTROL LEAD (CESSCL). PROVIDE THE NAME AND PHONE NUMBER OF THE ESC SUPERVISOR TO THE SITE INSPECTOR AT THE FIRST GROUND DISTURBANCE INSPECTION.
4. BMPs SHALL BE INSTALLED PRIOR TO STARTING CONSTRUCTION TO ENSURE SEDIMENT-LADEN WATER DOES NOT LEAVE THE PROJECT SITE OR ENTER ROADSIDE DITCHES, STORM DRAINS, SURFACE WATERS, OR WETLANDS.
5. THE BMPs INCLUDED IN THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. THE APPLICANT IS RESPONSIBLE FOR ENSURING THAT BMPs ARE MODIFIED AS NEEDED FOR UNEXPECTED STORM EVENTS OR OTHER UNFORESEEN CIRCUMSTANCES, AND TO ACCOUNT FOR CHANGING SITE CONDITIONS.
6. ANY AREAS OF DISTURBED SOIL THAT WILL NOT BE WORKED FOR TWO CONSECUTIVE DAYS DURING THE WET SEASON (OCT 1 TO APRIL 30) OR SEVEN DAYS DURING THE DRY SEASON (MAY 1 TO SEPT 30) SHALL BE IMMEDIATELY STABILIZED WITH APPROVED BMPs METHODS (E.G. STRAW, MULCH, PLASTIC COVERING, COLD MIX, ETC.).
7. GRADING AND/OR SOIL DISTURBING ACTIVITIES MAY BE LIMITED OR PROHIBITED FOR CERTAIN SITES SUBJECT TO ECA STANDARDS (I.E. ECA STEEP SLOPES, LANDSLIDE PRONE AREAS, ETC.) BETWEEN OCTOBER 31ST AND APRIL 1ST. IF NOTED IN THE GEOTECHNICAL SPECIAL INSPECTIONS REQUIREMENTS, A GRADING SEASON EXTENSION LETTER (GSEL) ISSUED BY SDCI IS REQUIRED FOR ALL GRADING AND/OR SOIL DISTURBING ACTIVITIES DURING THIS PERIOD. THE GEOTECHNICAL SPECIAL INSPECTOR MUST SUBMIT ELECTRONIC APPLICATIONS FOR A GSEL USING THE SDCI PROJECT PORTAL. ALLOW FOUR TO SIX WEEKS FOR PROCESSING. FAILURE TO OBTAIN THE GSEL PRIOR TO OCTOBER 31 MAY RESULT IN A WORK STOPPAGE.
8. CITY STREETS AND SIDEWALKS SHALL BE KEPT CLEAN AT ALL TIMES. NO MATERIAL SHALL BE STORED ON CITY STREETS OR SIDEWALKS WITHOUT A STREET USE PERMIT FROM THE SEATTLE DEPARTMENT OF TRANSPORTATION (SDOT).
9. POLLUTION CONTROL MEASURES SHALL BE FOLLOWED TO ENSURE THAT NO LIQUID PRODUCTS OR CONTAMINATED WATER ENTERS ANY STORM DRAINAGE FACILITIES OR OTHERWISE LEAVES THE PROJECT SITE. ANY HAZARDOUS MATERIALS OR LIQUID PRODUCTS THAT HAVE THE POTENTIAL TO POLLUTE RUNOFF SHALL BE STORED AND DISPOSED OF PROPERLY.
10. ENSURE THAT WASHOUT FROM CONCRETE TRUCKS IS PERFORMED OFF-SITE OR IN DESIGNATED CONCRETE WASHOUT AREAS ONLY. DO NOT WASH OUT CONCRETE TRUCKS ONTO THE GROUND, OR TO STORM DRAINS OR OPEN DITCHES. DO NOT DUMP EXCESS CONCRETE ONSITE, EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS.
11. ALL AREAS OF DISTURBED SOIL SHALL BE FULLY STABILIZED WITH THE APPROPRIATE SOIL AMENDMENT AND COVER MEASURES AT COMPLETION OF THE PROJECT. TYPICAL COVER MEASURES INCLUDE LANDSCAPING OR HYDROSEED WITH MULCH.

CONSTRUCTION STORMWATER CONTROL (CSC) PLAN REQUIREMENTS

THE BMPs SHOWN ON THE ESC PLAN (SHEET C1.2) ARE THE MINIMUM REQUIRED. ADDITIONAL BMPs ARE REQUIRED WHEN MINIMUM CONTROLS ARE NOT SUFFICIENT TO PREVENT EROSION OR TRANSPORT OF SEDIMENT OR OTHER POLLUTANTS FROM THE SITE.

- MARK CLEARING LIMITS
- DELINEATE ENVIRONMENTALLY CRITICAL AREAS
- RETAIN TOP LAYER AND NATIVE VEGETATION
- ESTABLISH CONSTRUCTION ACCESS
- PROTECT DOWNSTREAM PROPERTIES AND RECEIVING WATERS
- PREVENT EROSION AND SEDIMENT TRANSPORT FROM THE SITE
- STABILIZE SOILS
- PROTECT SLOPES
- PROTECT STORM DRAINS
- STABILIZE CHANNEL AND OUTLETS
- CONTROL POLLUTANTS
- CONTROL DEWATERING
- MAINTAIN AND INSPECT BMPs
- EXECUTE CONSTRUCTION STORMWATER CONTROL PLAN
- MINIMIZE OPEN TRENCHES
- PHASE THE PROJECT
- INSTALL PERMANENT FLOW CONTROL AND WATER QUALITY FACILITIES
- PROTECT STORMWATER BMPs PRIOR TO, DURING, AND AFTER CONSTRUCTION

COMPLETE CONSTRUCTION STORMWATER CONTROL BMP DETAILS AND REQUIREMENTS ARE LOCATED IN DIRECTOR'S RULE DPD DR 21-2015, CHAPTER 4, VOLUME 2: CONSTRUCTION STORMWATER CONTROL, OF THE SEATTLE STORMWATER MANUAL. SHOW ALL BMPs ON THIS PLAN SHEET THAT WILL BE USED TO ACHIEVE THE REQUIREMENTS ABOVE.

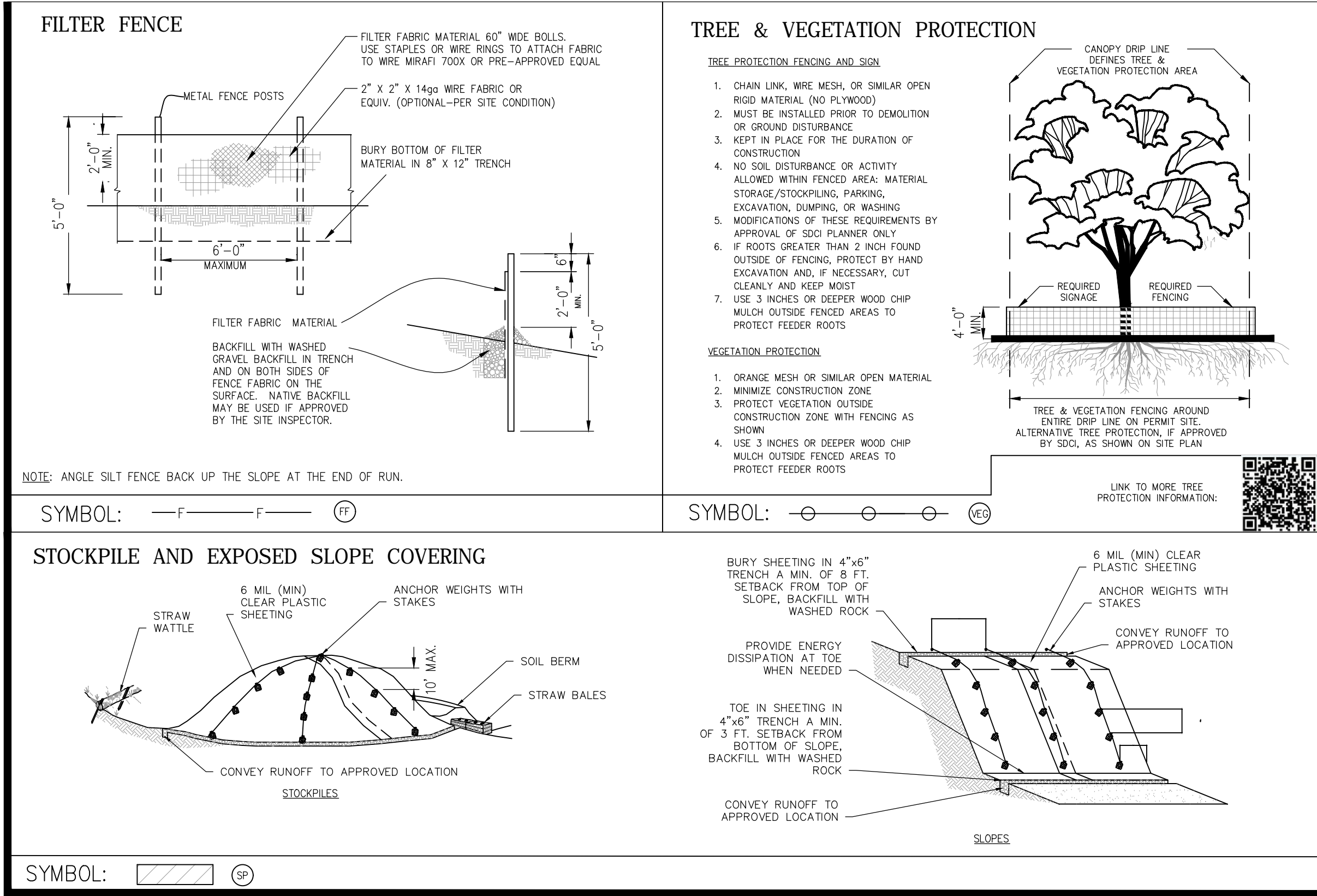
TEMPORARY EROSION CONTROL SEED MIX

- * APPLY AT A RATE OF 120 LBS / AC.
- * APPLY WITH MULCH OR TOPSOIL AS NECESSARY

	SEED WT	PURITY	GERMINATION
CHEWINGS OR ANNUAL BLUE GRASS Festuca rubra var. commutata or Poa annua	40	98	90
PERENNIAL RYE Lolium perenne	50	98	90
REDTOP OR COLONIAL BENTGRASS Agrostis alba or Agrostis tenuis	5	92	85
WHITE DUTCH CLOVER Trifolium repens	5	98	90

CONSTRUCTION STORMWATER CONTROL & POST CONSTRUCTION SOIL MANAGEMENT DETAILS

NOTE: THIS PLAN IDENTIFIES THE MINIMUM MEASURES REQUIRED; ADDITIONAL MEASURES MAY BE REQUIRED BASED ON CONSTRUCTION METHODS AND ACTUAL AREA OF DISTURBANCE.



POST CONSTRUCTION SOIL MANAGEMENT PLAN

AT THE END OF PROJECT, ALL AREAS DISTURBED AND NOT COVERED WITH A HARD SURFACE MUST BE AMENDED PER THE SOIL AMENDMENT DETAIL BELOW AND PROBE TO 12-INCHES AT THE SITE FINAL INSPECTION.

➤ LABEL ALL AREAS DISTURBED AND NOT COVERED WITH A HARD SURFACE WITHIN THE SITE AS ONE OF THE FOLLOWING: SA (SOIL AMENDMENT AREA) or ND (NON-DISTURBED AREA). SEE DEFINITIONS BELOW. DO NOT REFERENCE AN ALTERNATE PLAN SHEET.

➤ AN ESTIMATE OF THE VOLUME OF COMPOST REQUIRED IS AUTOMATICALLY CALCULATED ON THE SITE AND DRAINAGE CONTROL SUMMARY SHEET REQUIRED ON THE DRAINAGE AND WASTEWATER CONTROL PLAN (DWC PLAN). THE ACTUAL VOLUME OF COMPOST REQUIRED WILL BE DETERMINED IN THE FIELD.

DEFINITIONS:

- NON-DISTURBED AREA (ND): VEGETATED AREAS THAT WILL NOT BE SUBJECT TO LAND DISTURBING ACTIVITY (SEE D) DO NOT REQUIRE SOIL AMENDMENT IF THEY ARE FENCED AND CONTINUOUSLY PROTECTED THROUGHOUT CONSTRUCTION. THE FENCING MUST BE IN PLACE AT THE FIRST GROUND DISTURBANCE INSPECTION. THIS WILL BE MONITORED BY THE DPD SITE INSPECTOR. NO DISTURBANCE, INCLUDING VEHICLE TRAFFIC OR MATERIAL STORAGE, IS ALLOWED IN THESE AREAS UNTIL FINAL INSPECTION. LABEL THESE AREAS AS (ND) IN THE PLAN VIEW.
- SOIL AMENDMENT AREA (SA): VEGETATED OR COMPOST AREAS (TURF AND LANDSCAPE) MUST BE AMENDED PER THE SOIL AMENDMENT DETAIL AND THE SUBSOIL MUST BE LOOSENEED SO IT WILL PROBE TO A DEPTH OF 12 INCHES PRIOR TO SITE FINAL INSPECTION. THIS INCLUDES AREAS IMPACTED BY CLEARING AND GRADING, STOCKPILING, SITE ACCESS, PATHWAYS AND MATERIALS OR EQUIPMENT STORAGE. LABEL THESE AREAS AS (SA) IN THE PLAN VIEW.

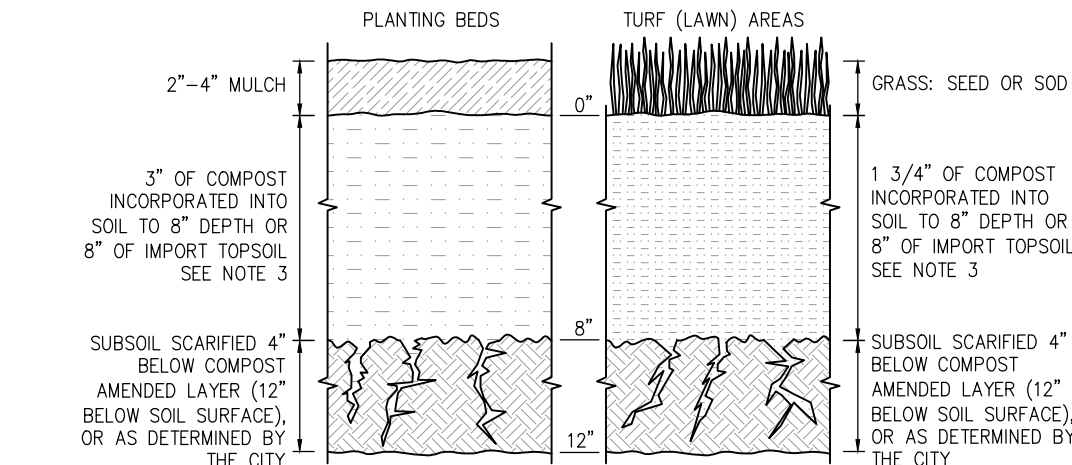
ESTIMATED COMPOST REQUIRED FOR SOIL AMENDMENT

ONLY COMPLETE THE FOLLOWING CALCULATION IF A DRAINAGE AND WASTEWATER CONTROL PLAN (DWC PLAN) IS NOT REQUIRED (E.G. SUBJECT TO FIELD INSPECTION (STFI) DEMOLITION PERMITS)

890 (SQUARE FEET) X 0.0062 = 6 (CUBIC YARDS)

AREA REQUIRING AMENDMENT (SA) REQUIRED COMPOST

SOIL AMENDMENT



NOTES:

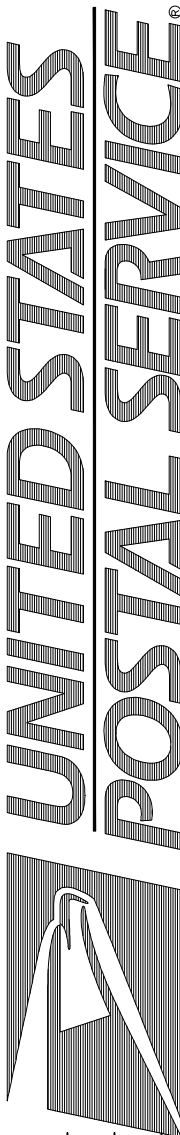
1. POST CONSTRUCTION SOIL AMENDMENT IS REQUIRED ON ALL AREAS NOT COVERED BY IMPERVIOUS SURFACE WHERE SOIL IS DISTURBED DURING CONSTRUCTION.
2. SOIL AMENDMENT MUST PASS A 12 INCH MINIMUM PROBE TEST.
3. IMPORT TOPSOIL, IF USED, MUST MEET THE REQUIREMENTS OF THE 2016 SEATTLE STORMWATER MANUAL, VOL. 1, SECTIONS 5.1.5.1 AND 5.1.5.3.

SYMBOL: SA AREA REQUIRING SOIL AMENDMENT

ND NON-DISTURBED AREA (SOIL AMENDMENT NOT REQUIRED)

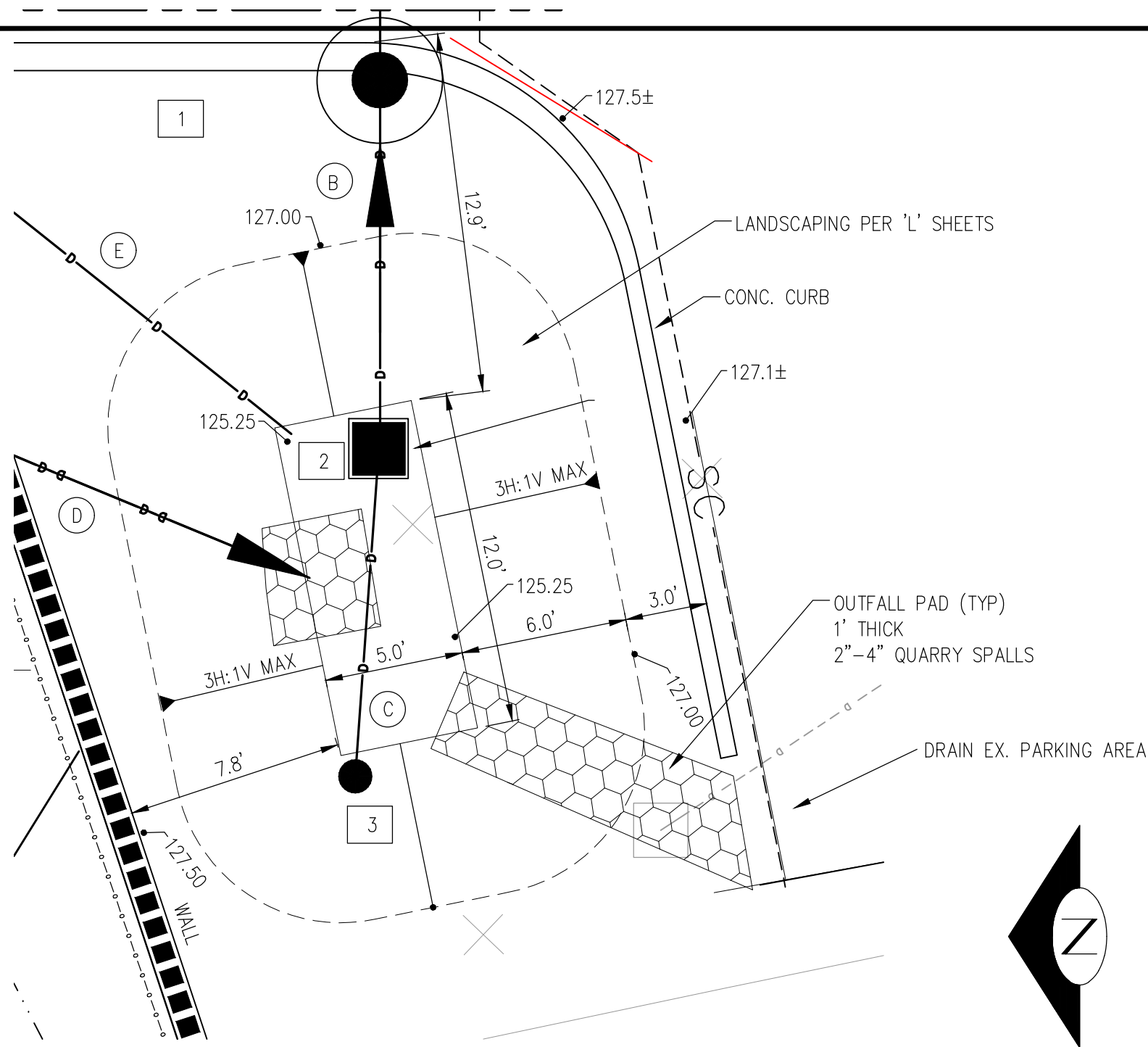


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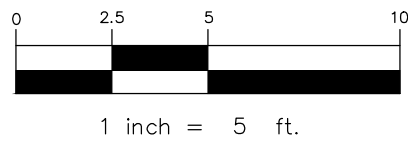


C1.5 CIVIL DETAILS
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Project: COLUMBIA STATION AQ CAX
USPS File Number: Q59098

SW1/4 OF SEC. 22, T24N, R4E, W.M., CITY OF SEATTLE, KING COUNTY, WA

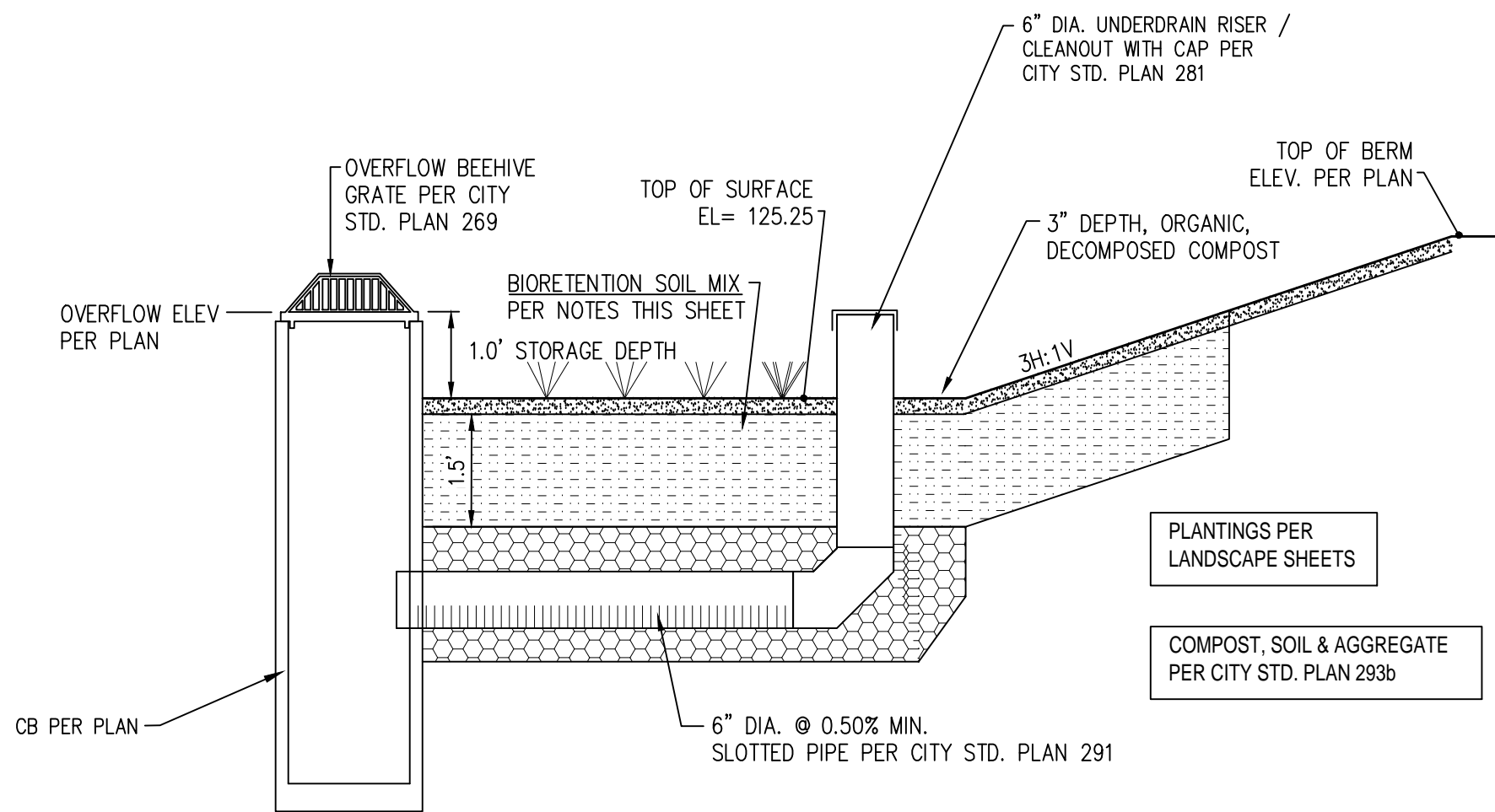


1 BIORETENTION CELL - PLAN
C1.6 SCALE: 1" = 5'

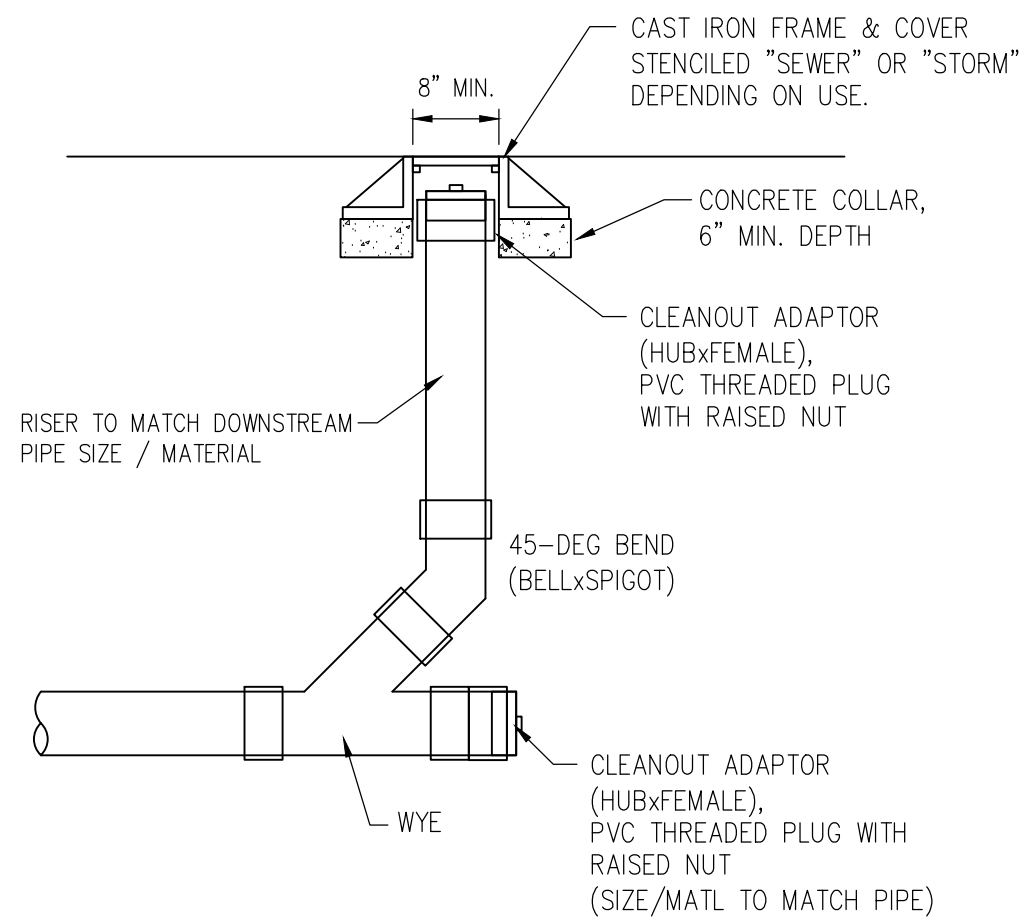


STORM STRUCTURE / CLEANOUT SCHEDULE				
CB/CO	TYPE	RIM	IE	
1	SDMH, TY. 204A	128.00	121.80 (8"W)	121.80 (8"E)
2	CB, TY. 241g	126.25	122.17 (6"W)	122.00 (8"E)
3	CLEANOUT	126.25	122.29 (6")	

STORM PIPE SCHEDULE				
PIPE	DIA / TYPE	LENGTH (FT)	SLOPE	
A	8" PVC,SCH40	15 (END/END)	1.33%	
B	8" PVC,SCH40	13	1.54%	
C	6" PVC,SCH40	12	1.00%	
D	8" PVC,SCH40	24	1% MIN.	
E	6" PVC,SCH40	20	3.00%	



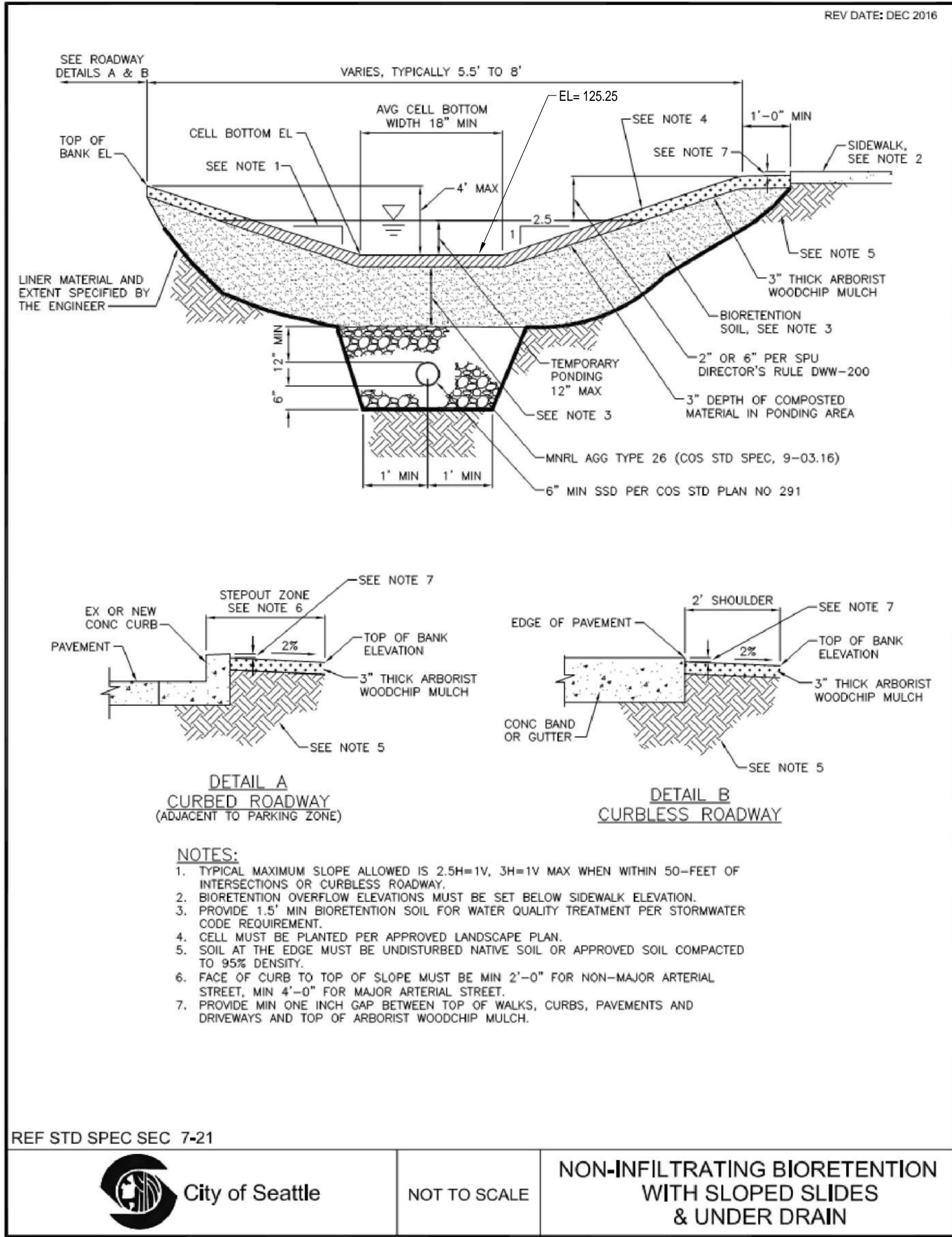
2 BIORETENTION CELL - SECTION
C1.6 SCALE: N.T.S.



3 CLEANOUT
C1.6 SCALE: N.T.S.

200 SEWER-DRAINAGE APPURTENANCES

STANDARD PLAN NO 293b



REF STD SPEC SEC 7-21



City of Seattle

NOT TO SCALE

NON-INFILTRATING BIORETENTION
WITH SLOPED SLIDES
& UNDER DRAIN

2017 Edition City of Seattle Standard Plans for Municipal Construction

BIORETENTION SOIL

THE MINIMUM REQUIREMENTS ASSOCIATED WITH BIORETENTION SOIL DESIGN INCLUDE:
THE BIORETENTION SOIL SHALL MEET CITY OF SEATTLE STANDARD SPECIFICATION 7-21. SOIL SHALL BE A WELL-BLENDED MIXTURE OF 2 PARTS FINE COMPOST (APPROXIMATELY 35 TO 40 PERCENT) BY VOLUME, AND 3 PARTS MINERAL AGGREGATE (APPROXIMATELY 60 TO 65 PERCENT) BY VOLUME. THE MIXTURE SHALL BE WELL BLENDED TO PRODUCE A HOMOGENEOUS MIX, AND HAVE AN ORGANIC MATTER CONTENT OF 4 TO 8 PERCENT DETERMINED USING THE LOSS ON IGNITION METHOD. MATERIALS SHALL MEET THE CRITERIA PROVIDED BELOW.

FINE COMPOST FOR BIORETENTION SOIL SHALL MEET THE CRITERIA BELOW:

- GRADATION. FINE COMPOST SHALL MEET THE FOLLOWING SIZE GRADATIONS BY DRY WEIGHT WHEN TESTED IN ACCORDANCE WITH THE U.S. COMPOSTING COUNCIL TESTING METHODS FOR THE EXAMINATION OF COMPOST AND COMPOSTING (TMECC) TEST METHOD 02.02-B, SAMPLE SIEVING FOR AGGREGATE SIZE CLASSIFICATION:

SIEVE SIZE	PERCENT PASSING	
	MINIMUM	MAXIMUM
2"	100%	
1"	99%	100%
5/8"	90%	100%
1/4"	75%	100%

- PH. THE PH SHALL BE BETWEEN 6.0 AND 8.5 WHEN TESTED IN ACCORDANCE WITH TMECC 04.11-A; "1:5 SLURRY PH."
- PHYSICAL CONTAMINANTS. MANUFACTURED INERT MATERIAL (CONCRETE, CERAMICS, METAL, ETC.) SHALL BE LESS THAN 1.0 PERCENT BY WEIGHT AS DETERMINED BY TMECC 03.08-A "PERCENT DRY WEIGHT BASIS." FILM PLASTICS SHALL BE 0.1 PERCENT OR LESS, BY DRY.
- ORGANIC CONTENT. MINIMUM ORGANIC MATTER CONTENT SHALL BE 40 PERCENT BY DRY WEIGHT BASIS AS DETERMINED BY TMECC 05.07-A; LOSS-ON-IGNITION ORGANIC MATTER METHOD.
- SALINITY. SOLUBLE SALT CONTENTS SHALL BE LESS THAN 5.0 MMHOS/CM TESTED IN ACCORDANCE WITH TMECC 04.10-A; "1:5 SLURRY METHOD, MASS BASIS."
- MATURITY. MATURITY SHALL BE GREATER THAN 80 PERCENT IN ACCORDANCE WITH TMECC 05.05-A; "GERMINATION AND VIGOR." THE ENGINEER MAY ALSO EVALUATE COMPOST FOR MATURITY USING THE SOLVITA COMPOST MATURITY TEST AT TIME OF DELIVERY. FINE COMPOST SHALL SCORE A NUMBER 6 OR ABOVE ON THE SOLVITA COMPOST MATURITY TEST. COARSE COMPOST SHALL SCORE A 5 OR ABOVE ON THE SOLVITA COMPOST MATURITY TEST.
- STABILITY. STABILITY SHALL BE 7 OR BELOW IN ACCORDANCE WITH TMECC 05.08-B; "CARBON DIOXIDE EVOLUTION RATE."
- FEEDSTOCKS. THE COMPOST PRODUCT SHALL CONTAIN A MINIMUM OF 65 PERCENT BY VOLUME FROM RECYCLED PLANT WASTE AS DEFINED IN WAC 173-350-100 AS "YARD WASTE," "CROP RESIDUES," AND "BULKING AGENTS." A MAXIMUM OF 35 PERCENT BY VOLUME OF "POSTCONSUMER FOOD WASTE" AS DEFINED IN WAC 173-350-100 MAY BE SUBSTITUTED FOR RECYCLED PLANT WASTE. A MINIMUM OF 10 PERCENT FOOD WASTE IN COMPOST IS REQUIRED. THE ENGINEER MAY APPROVE COMPOST PRODUCTS CONTAINING UP TO 35 PERCENT BIOSOLIDS OR MANURE FEEDSTOCKS FOR SPECIFIC PROJECTS OR SOIL BLENDS, BUT THESE FEEDSTOCKS ARE NOT ALLOWED UNLESS SPECIFIED, AND NOT ALLOWED IN COMPOST USED FOR BIORETENTION SOILS.
- C:N. FINE COMPOST SHALL HAVE A CARBON TO NITROGEN RATIO OF LESS THAN 25:1 AS DETERMINED USING TMECC 04.01 "TOTAL CARBON" AND TMECC 04.02D "TOTAL KJELDAHL NITROGEN." THE ENGINEER MAY SPECIFY A C:N RATIO UP TO 35:1 FOR PROJECTS WHERE THE PLANTS SELECTED ARE ENTIRELY PUGET SOUND NATIVE SPECIES. COMPOST MAY BE MIXED WITH FIR OR HEMLOCK BARK MEETING REQUIREMENTS OF 9-14.4(3) TO RAISE THE C:N RATIO ABOVE 25:1. COARSE COMPOST SHALL HAVE A CARBON TO NITROGEN RATIO BETWEEN 20:1 AND 45:1.

MINERAL AGGREGATE FOR BIORETENTION SOIL SHALL BE ANALYZED BY AN ACCREDITED LAB USING THE SIEVE SIZES NOTED BELOW, AND SHALL MEET THE FOLLOWING GRADATION:

SIEVE SIZE	PERCENT PASSING
3/8" SQUARE	100
US. NO. 4	60 - 100
US. NO. 10	40 - 100
US. NO. 40	15 - 50
US. NO. 200	2 - 5

FOR FACILITIES WITHOUT UNDERDRAINS, BIORETENTION SOIL DEPTH SHALL BE A MINIMUM DEPTH OF 12 INCHES TO MEET ON-SITE STORMWATER MANAGEMENT AND FLOW CONTROL REQUIREMENTS, AND 18 INCHES TO MEET WATER QUALITY TREATMENT REQUIREMENTS.

FOR FACILITIES WITH UNDERDRAINS, THE BIORETENTION SOIL SHALL HAVE A MINIMUM DEPTH OF 18 INCHES.

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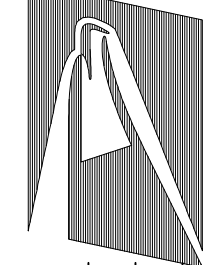
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C1.6 CIVIL DETAILS

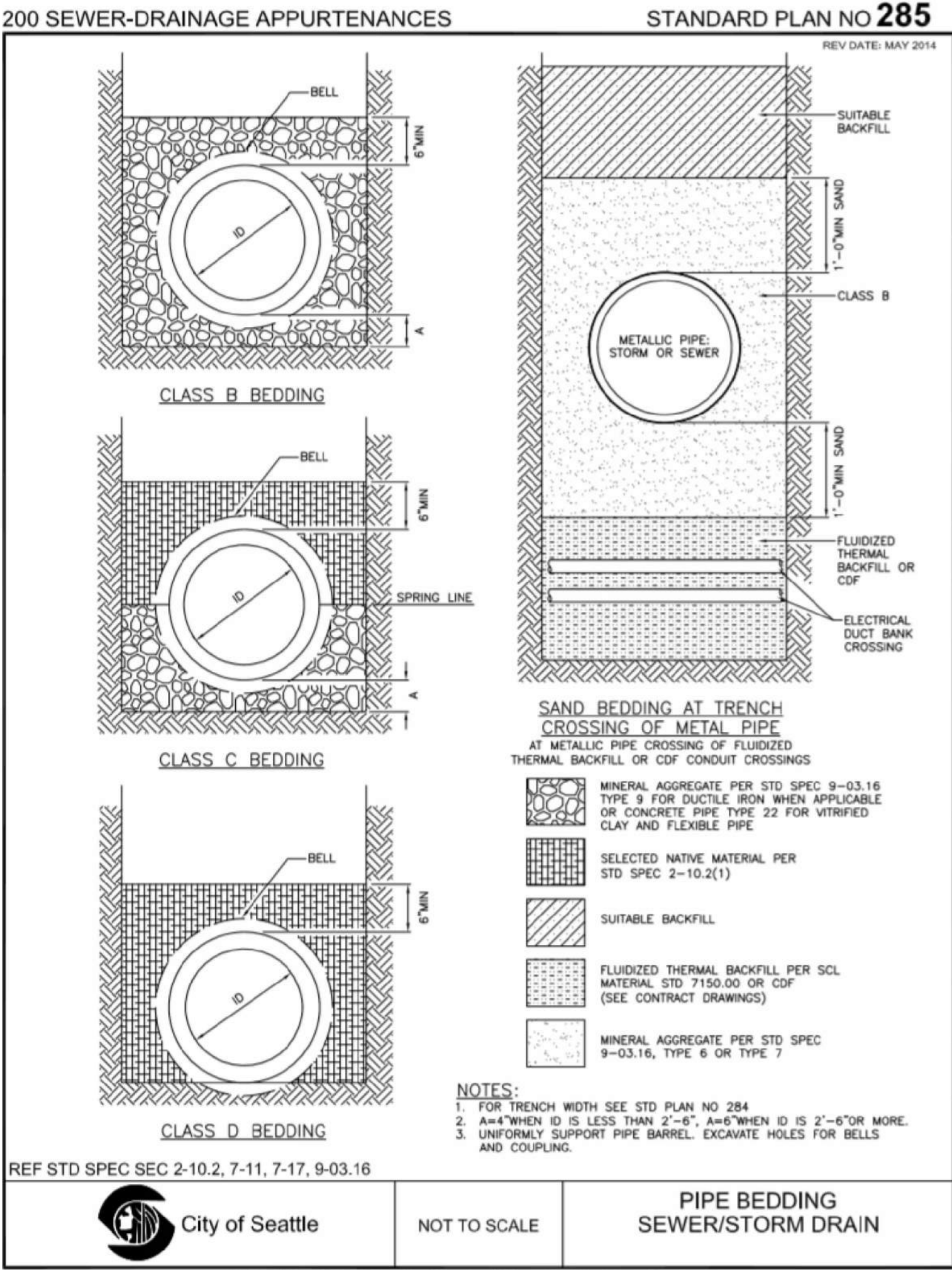
C1.7

CIVIL DETAILS

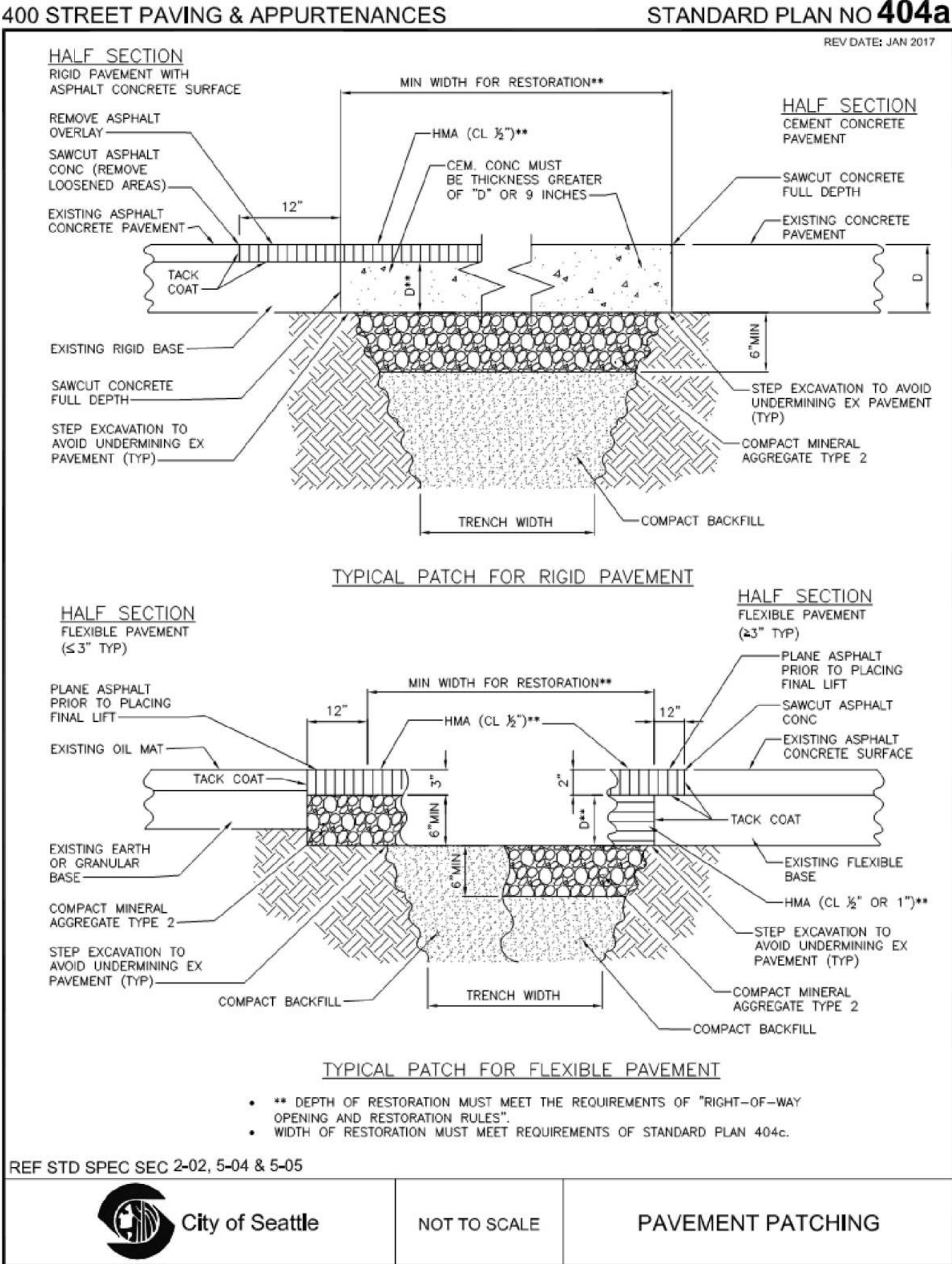
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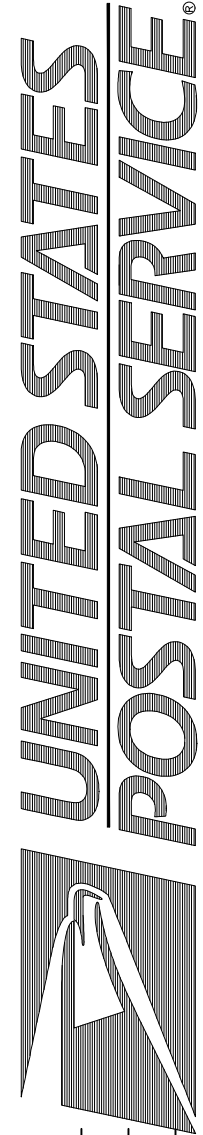
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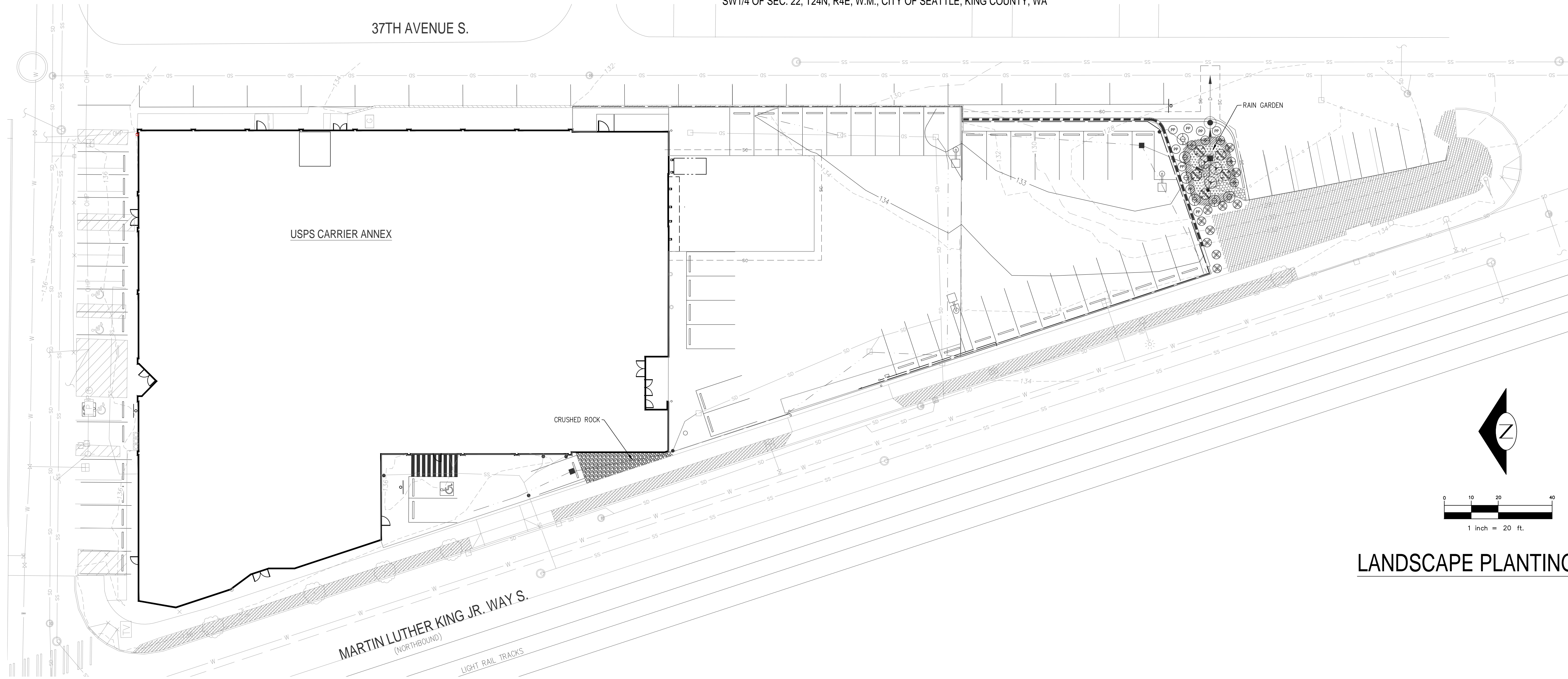
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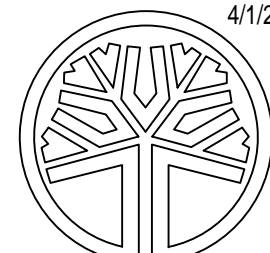
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PLANT SCHEDULE

SHRUBS

SYMBOL	SCIENTIFIC NAME COMMON NAME	QUANTITY	SIZE (MIN.)	SPACING (MAX.)	NOTES
	CORNUS "HALO" VARIEGATED RED TWIG DOGWOOD	3	2 GALLON	AS SHOWN	FULL, WELL SHAPED
	MISCANTHUS "ADAGO" ADIAGO MAIDEN GRASS	10	1 GALLON	AS SHOWN	MULTI- STEM, FULL
	PINUS MUGHO "PUMILIO" PUMILIO MUGHO PINE	8	2 GALLON	AS SHOWN	NICE FOLIAGE, MULTI STEMS
	ROSA NUTKANA NUTKANA ROSE	5	1 GALLON	AS SHOWN	BUSHY, FULL
	SPIEA "TOR" BIRCHLEAF SPIREA	5	2 GALLON	AS SHOWN	FULL, BUSHY, WELL SHAPED
	WEGELIA "WINE & ROSES" CARDINAL FLOWER	6	2 GALLON	AS SHOWN	FULL, NICE SHAPE, UNIFORM

GROUND COVER

SYMBOL	SCIENTIFIC NAME COMMON NAME	QUANTITY	SIZE (MIN.)	SPACING (MAX.)	NOTES
	CORNUS KELSEYII DWARF RED TWIG DOGWOOD	115 sf	1 GALLON	24" TRIANGULAR	FULL, MULTI STEMMED, HEALTHY
	MAHONIA REPENS LOW GROWING OREGON GRAPE	175 sf	1 GALLON	24" TRIANGULAR	FULL, NICE FOLIAGE
	RAIN GARDEN GRASSES: CAREX GENUATA, JUNCUS 'BLUE ELK', SORBUS MICROCARPUS	90 sf	1 GALLON	24" TRIANGULAR	HEALTHY FOLIAGE, WELL ROOTED
	EXISTING PLANTING BED AREAS TO REMAIN				REMOVE ANY INVASIVE SPECIES.

NOTE:
- GROUND COVER TO BE PLANTED TO ACHIEVE FULL COVERAGE WITHIN THREE YEARS. CONTRACTOR TO DETERMINE QUANTITY TO ACHIEVE SPACING SPECIFIED.
- GROUND COVER IS NOT REQUIRED UNDER CANOPY OF SHRUBS OR WITHIN TREE WELLS.

LANDSCAPE NOTES

GENERAL:

- UTILITY LOCATION: DETERMINE ALL ABOVE GRADE AND UNDERGROUND UTILITIES BEFORE COMMENCING WORK. ALL WORK TO BE COMPLETED TO AVOID ANY DAMAGE. THIS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITIES SHOWN ON PLAN ARE APPROXIMATE ONLY AND NOT VERIFIED.
- ALL EXISTING VEGETATION AREAS TO RECEIVE NEW LANDSCAPE SHALL BE CLEARED AND GRUBBED FROM THE SITE PRIOR TO COMMENCEMENT OF LANDSCAPE WORK.
- SUBGRADES FOR ALL PLANTING BED AREAS SHALL BE 6" MINIMUM BELOW FINISH ELEVATION. ALL PLANTING BEDS TO HAVE POSITIVE DRAINAGE. MINIMUM 3%.
- ALL PLANTING BEDS TO BE NON-COMPACTED TO A DEPTH OF 18" PRIOR TO PLANTING.
- EXISTING CLAY OR SANDY SOILS SHALL BE AUGMENTED WITH ORGANIC SUPPLEMENTS. SOIL ANALYSIS MAY BE REQUIRED.
- CONTRACTOR SHALL GUARANTEE PLANTS AND GRASS FOR A MINIMUM OF ONE YEAR AFTER APPROVED COMPLETION.
- IMMEDIATELY NOTIFY OWNER REPRESENTATIVE OF ANY ADVERSE CONDITIONS OR CONFLICTS WHICH MAY AFFECT HEALTH OF PLANT MATERIAL.

PLANTING BEDS:

- PLANTING BEDS TO HAVE A MINIMUM OF 12" (MORE TO MEET TOP OF ANY PAVEMENT OR CURB) OF APPROVED THREE WAY TOPSOIL. BEDS TO BE NON-COMPACTED TO A DEPTH OF 18" PLANTING BEDS TO HAVE MORE SOIL IF NECESSARY TO BE FLUSH WITH CURB, SIDEWALK OR OTHER PAVED SURFACE. ALL PLANTING BEDS TO HAVE POSITIVE DRAINAGE.
 - FOR AREAS WITH EXISTING SOILS, AMEND SOIL PER POST CONSTRUCTION MANAGEMENT PLAN. REFER TO C1.5 ON CIVIL PLANS.
 - NO DEBRIS, RIP RAP, OR PAVING BASE OR OTHER MATERIALS THAT ARE NOT SOIL ARE NOT TO BE IN PLANTER BEDS. IF ADDITIONAL MATERIAL IS TO BE REMOVED, CONTRACTOR SHALL INSTALL ADDITIONAL SOIL TO ENSURE THAT FINISH GRADE IS FLUSH WITH HARDSCAPE. SOIL DEPTH IS TO BE A MINIMUM OF 24" VIABLE PLANT GROWTH MATERIAL.
- CONTRACTOR TO VERIFY PLANT QUANTITIES AND SQUARE FOOTAGE. NOTIFY TERRAFORMA DESIGN GROUP IF THERE IS A DISCREPANCY.
- ALL PLANT MATERIAL TO BE WELL BRANCHED, FREE FROM DISEASE OR PEST, AND HAVE A WELL DEVELOPED ROOT SYSTEM. ALL MATERIAL TO MEET AMERICAN ASSOCIATION OF NURSERMEN STANDARDS.
- FERTILIZE ALL PLANT MATERIAL WITH SLOW RELEASE FERTILIZER PER MANUFACTURER'S RATES (NOT INCLUDING RAIN GARDEN AREA)
- PLANT MATERIAL PLANTED TO BE SAME AS OR NO MORE THAN 1" HIGHER THAN CURRENT GROWTH RATE AT FINISH GRADE.
- WATER PLANTS THOROUGHLY DURING PLANTING AND IMMEDIATELY FOLLOWING. WATER HEAVILY AT FIRST, 3 TIMES PER WEEK, AND LESS ONCE ESTABLISHED.
- ORGANIC MEDIUM MULCH TO BE A MINIMUM OF 3" DEPTH COMACTED IN ALL PLANTING BEDS.

RAIN GARDEN:

- INSTALL RAIN GARDEN PER CIVIL ENGINEERING DRAWINGS. SEE DETAIL OF NON-INFILTRATING BIORETENTION AND OTHER INFORMATION.
- FOLLOW ALL CIVIL ENGINEERING REQUIREMENTS, INCLUDING BUT NOT LIMITED TO: SOIL DEPTH, TYPE, MULCH, DRAINAGE, AND INSTALLATION PER CIVIL ENGINEER.
- INSTALL COMPOST AND ARBORIST WOOD CHIPS AS MULCH PER ENGINEER DRAWINGS.
- DO NOT USE FERTILIZER, WEED KILLER, OR APPLY PREEMERGENTS IN RAIN GARDEN AREA.

SITE CONSTRUCTION:

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND LOCATE ANY EXISTING OR PROPOSED UTILITIES. ANY DAMAGE DONE BY NOT LOCATING, IS THE RESPONSIBILITY OF THE CONTRACTOR.
- UTILITIES SHOWN ON DRAWING ARE SCHEMATIC ONLY. REFER TO OTHER SITE DRAWINGS FOR ADDITIONAL INFORMATION AND COORDINATE WITH OWNER REPRESENTATIVE.
- EROSION CONTROL SHALL BE PROVIDED DURING CONSTRUCTION PER CIVIL PLANS.
- WARRANTY FOR PLANTS AND IRRIGATION IS TO BE ONE YEAR STARTING AT FINAL ACCEPTANCE OF WORK. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING IRRIGATION IS IN WORKING ORDER TO ENSURE PLANT SURVIVAL THRU WARRANTY PERIOD.

NOTE

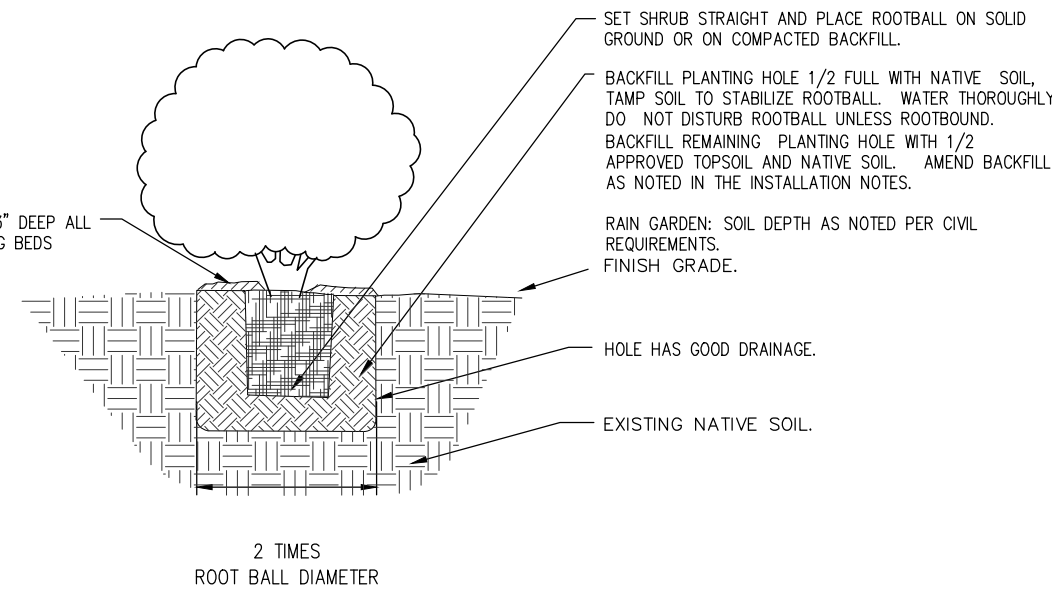
THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.

EXISTING GRADE INFORMATION IS APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES AND NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE COMMENCING WORK.

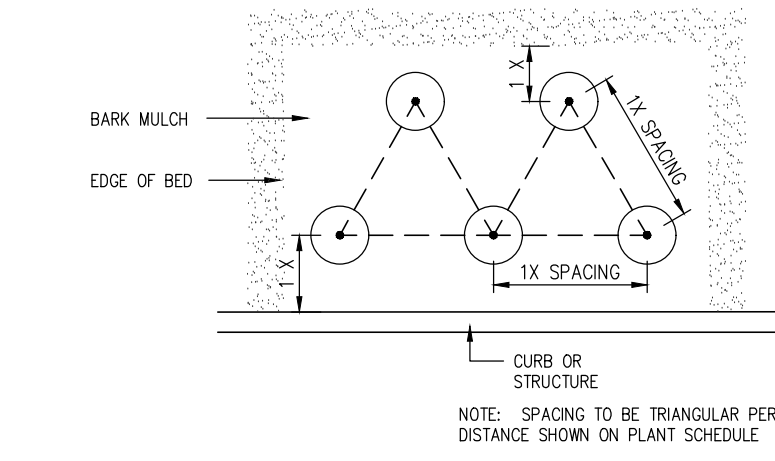
CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO CONFIRM EXISTING UTILITY AND GRADE INFORMATION.

**CALL AT LEAST 2 WORKING
DAYS BEFORE YOU DIG
CALL '811'**

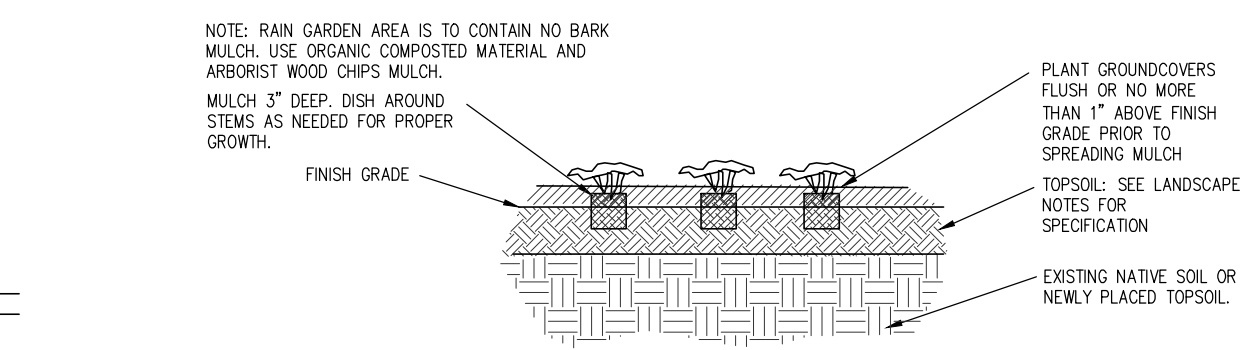
ALL WEEDS AND THEIR ROOTS ARE TO BE REMOVED PRIOR TO PLACEMENT ON SITE. REMEDIATE ANY ROOTBOUND PLANTS PER INDUSTRY STANDARDS.



1
L1.1
SCALE: N.T.S.
CONTAINER SHRUB PLANTING DETAIL



2
L1.1
SCALE: N.T.S.
GROUND COVER SPACING



3
L1.1
SCALE: N.T.S.
GROUND COVER PLANTING DETAIL